

Board of Park Commissioners Project Summary

Buckner Park Stormwater Easement and Temporary Construction Easement: Memorandum of Understanding

Project Approval Request

Scope of Work:

This request is for approval of both a permanent stormwater easement and a future temporary construction easement within Buckner Park to accommodate the connection of off-site stormwater BMPs to existing stormwater drainage within the park.

Board Approval/Summary:

Park staff has evaluated the attached construction drawings, detailing the proposed improvements for The Coop, located at 6218 Bass Rd., along with the attached Stormwater Easement Agreement. We believe that the conveyance of stormwater from the adjacent property onto and through the park site is necessary and appropriate in order to best slow, treat, and release the water into the existing system, and recommend approval of the stormwater easement.

We also seek approval of Parks and Recreation staff to work with the Owner of the adjacent site (The Coop) in establishing a temporary construction easement in order to accommodate the needs of modifying the park site according to the construction documents, with assurance that any disturbed areas will be restored by said Owner. Parks staff will work with the Owner and their project representatives to ensure minimum required access and disturbance, in addition to ensuring quality and appropriate material selection for use in Buckner Park.

Fort Wayne Parks and Recreation will not be responsible for any funding associated with these agreements, nor will be required payment for the proposed easement or associated construction activity. The Easement Agreement includes a legal description describing the easement and a graphic describing the easement extent. Construction drawings illustrate the proposed site modifications within Buckner Park.

The Fort Wayne Parks and Recreation and the Board of Park Commissioners, met to host their regularly scheduled monthly Board meeting on <u>February 13th, 2025</u>, to approve the above-referenced project and MOU as described in the attachments.

We the Board of Park Commissioners, on the date stated, do ATTEST and sign to the above-referenced and attached document, and approve as presented.

| Justin Shurley, Commissioner | Cory Miller, Vice President |
| Richard Briley, Commissioner | Jenna Jauch, Commissioner |



STORMWATER DRAINAGE EASEMENT AGREEMENT

Project Name/Address: The Coop, 6218 Bass Road, Fort Wayne, Indiana 46818					
Cross Reference to Document Nos and 2024011328					
This Stormwater Drainage Easement Agreement (this "Agreement") is entered into this day of, 2025, by and between the City of Fort Wayne Board of Park Commissioners ("Grantor") and Hurley Holding Company LLC ("Grantee").					
RECITALS					
WHEREAS, Grantor is the owner of certain real estate located in Allen County, Indiana, and recorded at Document No in the office of the Recorder of Allen County, Indiana (the "Burdened Parcel");					
WHEREAS, Grantee is the owner of certain real estate located in Allen County, Indiana, and recorded at Document No. 2024011328 in the office of the Recorder of Allen County, Indiana (the "Benefitted Parcel"). The Burdened Parcel and the Benefitted Parcel may be referred to herein as the "Real Estate".					
WHEREAS, Grantee has requested that it be entitled to install and maintain stormwater pipes, drainage path, and related equipment and structures (collectively, "Stormwater Facilities") upon the Burdened Parcel; and					
WHERAS, Grantor has agreed to allow Grantee to install and maintain Stormwater Facilities upon the Burdened Parcel, under and pursuant to the terms of this Agreement.					
NOW, THEREFORE, in consideration of the foregoing, for the following and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties hereby declare and subject the Real Estate to the following, all of which shall run with the land and be binding upon all current and future owners of the Real Estate, or any portion thereof.					
1. Grantor does hereby grant, warrant and convey to Grantee a permanent, non-					

exclusive stormwater drainage easement over, under, across and through the



Burdened Parcel ("Easement"), legally described and in the location and dimensions depicted in attached Exhibit A and Exhibit B (the "Easement Area"), for the benefit of Grantee, and its successors and assigns in title to the Benefitted Parcel, to allow Grantee: to install and construct Stormwater Facilities in the Easement Area, to connect the Stormwater Facilities to an existing open swale located on the Burdened Pacel (the "Swale"), for purposes related to the drainage of stormwater from the Benefitted Parcel to the Swale, and for maintaining, repairing, and reconstructing the Stormwater Facilities.

- 2. Grantee, including its employees, contractors, agents and assigns, shall have the right of ingress and egress on and over the Burdened Parcel at all times for the purpose of constructing, operating, maintaining and reconstructing Stormwater Facilities within the Easement Area, and Grantee shall at its expense and as determined by Grantee, provide functional maintenance of the Stormwater Facilities in order to assure their adequate operation.
- 3. Grantor acknowledges that the Stormwater Facilities must be readily accessible, and that nothing shall be placed in, on, over or under the Easement Area which will obstruct or interfere with the purpose of the Easement as established by this Agreement, unless such placement has Grantee's prior written authorization. Grantee may remove any unauthorized obstruction or impediment placed or arising upon the Easement Area, without obligation to restore or replace said unauthorized obstruction or impediment.
- 4. Grantee will assume responsibility for claims resulting from damage to any land or improvement within the Easement Area, or to any land or improvements used for ingress and egress to the Easement Area, caused by Grantee, including Grantee's contractors, during construction, operation, maintenance or reconstruction of the Stormwater Facilities, provided that such responsibility shall not include damage caused by the placement of any unauthorized obstruction within the Easement Area in violation of this Agreement, in which case no liability will be assumed by Grantee. Grantee shall restore the property within the Easement Area to a condition similar to its condition before Grantee's entry onto the Easement Area for the purposes set out in this Agreement; however, Grantee shall not be responsible for indirect or consequential damages caused by its actions pursuant to the purposes of this Agreement.
- 5. Grantor agrees to indemnify and hold harmless Grantee, its agents, employees, contractors and assigns, from and against any and all claims against Grantee for damages, injuries, losses, demands or costs arising out of or in any manner associated with Grantor's operation, use or maintenance of the Easement Area, except for claims arising as a result of Grantee's own negligent or intentional acts or omissions.
- 6. Grantee agrees to indemnify and hold harmless Grantor against all liability, loss, direct damage, costs or expenses, including claims of lien of laborers, material suppliers or others, for work performed on the Easement Area by the Grantee except



for claims arising as a result of Grantor's own negligent or intentional acts or omissions.

- 7. The Easement is granted subject to all prior easements or encumbrances of record. Except as to the rights granted herein, Grantor shall have the full use and control of the Easement Area.
- 8. The terms and provisions of this Agreement shall be binding upon and inure to the benefit of the parties, and their successors and assigns, and shall run with the Real Estate.
- 9. The laws of the State of Indiana shall govern this Agreement.
- 10. This Agreement may only be amended by prior written consent signed by Grantor and Grantee.
- 11. THE PARTIES ACKNOWLEDGE, AFFIRM, AND WARRANT THAT THEY HAVE REVIEWED THIS AGREEMENT IN ITS ENTIRETY, HAVE CONSULTED SUCH LEGAL, TAX OR OTHER ADVISORS AS THEY DEEM APPROPRIATE, AND UNDERSTAND AND AGREE TO EACH OF THE PROVISIONS OF THIS AGREEMENT AND THE EFFECT AND IMPLICATIONS THEREOF, AND FURTHER ACKNOWLEDGE THAT THEY HAVE ENTERED INTO THIS AGREEMENT VOLUNTARILY.

[Remainder of Page Intentionally Blank]

[Signature Pages Follow]



GRANTOR

City of Fort Wayne Board of Park Commissioners

By:					
,	Signature				
	Printed Name and Title	2			
		ACKNOWL	.EDGEME	INT	
STA	ATE OF INDIANA)			
011	112 01 1110111111) SS			
COL	JNTY OF ALLEN)			
BEF				te and County, personally appea City of Fort Wayne Board of P	
	nmissioners, and acki untary act and deed for	nowledged the e	execution	of the foregoing Agreement a	s a
WIT	TNESS my hand and sea	al this day	of	, 2025.	
Му	Commission Expires:		_	0	
				Signature of Notary Public	
Res	ident of	County		Printed Name	
	[Sig	natures continue	on the fo	ollowing page]	



GRANTEE

Hurley Holding Company LLC						
By: Clark E. Hurley, Member						
Clark E. Hurley, Member						
ACKNOWLEDGEMEI	NT					
STATE OF INDIANA)						
) SS COUNTY OF ALLEN)						
BEFORE ME, a Notary Public in and for said State and County, personally appeared Clark E. Hurley, Member of Hurley Holding Company LLC, and acknowledged the execution of the foregoing Agreement as a voluntary act and deed for the uses and purposes therein contained.						
WITNESS my hand and seal this day of	, 2025.					
My Commission Expires:	Circultura of Nichard Dublic					
Resident of County	Signature of Notary Public					
	Printed Name					
I affirm, under penalties for perjury, that I have taken Security number in this document unless required by law.						
This instrument was prepared by Jordan S. Huttenlocker, Indiana 46802.	, 505 E. Washington Blvd., Fort Wayne,					
Return to: RLW Box						



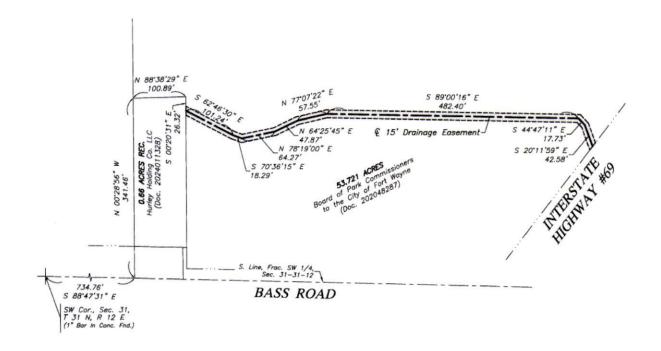
EXHIBIT A

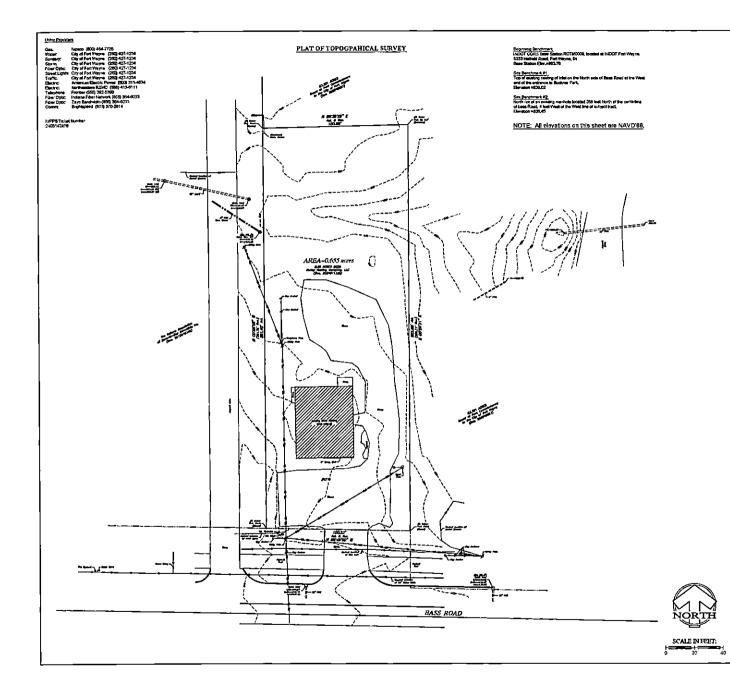
A strip of land lying entirely within a 0.66 acre base tract of real estate described in a deed to Hurley Holding Company, LLC, in Document Number 2024011328 in the Office of the Recorder of Allen County, Indiana, being a part of the Fractional Southwest Quarter of Section 31, Township 31 North, Range 12 East, Allen County, Indiana, said strip being 15 feet in width and lying 7.5 feet on each side of the following described centerline, to-wit:

Commencing at the Southwest corner of the Fractional Southwest Quarter of said Section 31; thence South 88 degrees 47 minutes 31 seconds East (GPS grid bearing and basis of all bearings in this description), on and along the South line of said Fractional Southwest Quarter and within the right-of-way of Bass Road, a distance of 734.76 feet; thence North 00 degrees 28 minutes 56 seconds West, on and along a line partially defined as the West line of a 0.66 acre base tract of real estate described in a deed to Hurley Holding Company, LLC, in Document Number 2024011328 in the Office of the Recorder of Allen County, Indiana, a distance of 341.46 feet to the Northwest corner thereof; thence North 88 degrees 38 minutes 29 seconds East, on and along the North line of said 0.66 acre base tract, a distance of 100.89 feet to the Northeast corner thereof; thence South 00 degrees 20 minutes 31 seconds East, on and along the East line of said 0.66 acre base tract, a distance of 26.32 feet to the true point of beginning; thence South 62 degrees 46 minutes 30 seconds East, a distance of 101.24 feet; thence South 70 degrees 36 minutes 15 seconds East, a distance of 18.29 feet; thence North 78 degrees 19 minutes 00 seconds East, a distance of 64.27 feet; thence North 64 degrees 25 minutes 45 seconds East, a distance of 47.87 feet; thence North 77 degrees 07 minutes 22 seconds East, a distance of 57.55 feet; thence South 89 degrees 00 minutes 16 seconds East, a distance of 482.40 feet; thence South 44 degrees 47 minutes 11 seconds East, a distance of 17.73 feet; thence South 20 degrees 11 minutes 59 seconds East, a distance of 42.58 feet to a point on the West right-of-way line of Interstate Highway #69, and there terminating. The sidelines of said strip are to be extended or truncated to terminate at the East line of said 0.66 acre base tract and the West right-of-way line of Interstate Highway #69.



EXHIBIT B





RECORD DESCRIPTION: (in described in Document Nameber 2024011328

The Wart SD fact of the Booth 300 feet of the part of the Sauthovar Quarter of Saction 52, Township 51 North, Range 12 Feet, in After County, before, many percentages described as follows towest.

convening at the Northeast corner of und houtewest Quarter, thence South 160 rock, thence West along the South has of said cross, a decimen of 50 rode, thence North 160 rods; thence End 56 rods to the place of beginning

ACCO Registrates of the Work has of the Base of review of the Southwest Constraint (Southern St.) Provide J. 1 North. Days 12 Eart.
Allow County, Indians, at a point assessed \$20 feet Yorks of the Southwest center of real Fare 35 rods, from North, on and store of War I have 3 feet and the Southwest center of real Fare 35 rods, from North, on and store of War I have 3 feet and the Southwest center of real Fare 35 rods, from North, on and store is an analysis of year and the Southwest center of real Fare 35 rods, from the Southwest center of the Southwest of 10 feet and the Southwest center of 10 feet and the Southwest center of 10 feet and for the Southwest center of 10 feet and for the Southwest center of 10 feet and for the Southwest center, and for the Southwest center, and for the Southwest center of 12 feet and for the Southwest center, and 12 feet and for the Southwest center of 12 feet and for 12 feet and for the Southwest center of 12 feet and for 12 feet and for 12 feet and 12 feet a

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EXCEPT:

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THE ABOVE DESCRIPTIONS BEING MORE PARTICULARLY DESCRIBED IN THE FOLLOWING PERDIETER DESCRIPTION CREATED BY MANA A OPOXIU. R.L.B., AS POLLOWIN.

A percel of fand attented in the Francesi Southwest Center of Section 51, Township 81 North, Range 12 East, Allen County, Indians and Issue nover percentarly described in follows:

East Deed of Record: Doc. 2024011328 East Date of Fieldwork: March 18, 2024

That properly appears to be within Zonn X in the description plots by scale on Flood Innumers Rate May Numbered 18003C 0.530, effective August 3, 2000

i, Joseph B. Herradien, affirm, ander the possibles for prylary, that I have all an reasonable acre to reduct such Security number in this decayant, inclose required by Jew J. Buther curely the above stabusingly to be content to the best of any information, introducing, and best of

Ingliera Professional Serveyor



Topographical Survey

Part of the Fractional Southwest Quarter of Section 31, Township 31 North, Range 12 East, Allen County, Indiana.

aons:	For: Hurley Holding Company, LLC	;
	By:	Orama By. "RtH
	Squer Land Surveying, Inc.	Chacked By: KNP
	14033 KLINDS FIDAD, SUITE C	Scala.
	FORT WAYNE IN 46814	1" = 20"

147-176-T

Date: April 10, 2024



DEMOLITION LEGEND:

SAWCUT AND REMOVE ASPHALT PAVEMENT



AWOUT AND REMOVE CONCRETE SLAB.



EMOVE STONE DRIVE AND REMNANTS IN ITS



REMOVE TREES AND BRUSH.

DEMOLITION NOTES:

- (1) CONCRETE REMOVAL FOR REFERENCE ONLY, SEE BUILDING PLANS.
- (2) COORDINATE WITH ELECTRICAL COMPANY AND REMOVE OVERHEAD ELECTRIC LINE.
- 3) SAINCUT AND REMOVE ASPHALT PAVEMENT,
 4) REMOVE STONE DRIVE AND REMOVANTS IN ITS ENTIRETY

- B ALTERNATE NO. 2. REMOVE TREE(s) AND BRUSH, INCLUDING ROOT BALLS,
 COORDINATE NEW TREE PLANTING WITH PARKS DEPARTMENT.

- GENERAL NOTES: OBTAIN ALL REQUIRED PERMITS AND COORDINATE INSPECTIONS FROM AUTHORITIES HAVING JURISDICTION.

- CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION REQUIRED BY LITLITY OWNERS TO CONSTRUCT PROJECT.
- PROVIDE RECORD DRAWINGS TO THE OWNER FOR SELDW GRADE IMPROVEMENTS, INCLUDE MATERIALS OF CONSTRUCTION, SEE ELEVATIONS, AND LOCATION DESCRIPTIONS IN THE RECORD, RECORD DRAWINGS SHALL BE CERTIFIED BY A LAND SURVEYOR REGISTERED IN THE STATE OF RIDDAMA.
- CONTRACTOR SHALL COORDINATE WITH EACH UTILITY PROVIDER TO DETERMINE TOTAL COST OF SERVICE TO BUILDING AND TO INCLUDE IN THE COST OF THE INDUSTRIES.
- CONTRACTOR SHALL LOCATE ALL PRINATE UTILITIES NOT COVERED BY THE PUBLIC LOCATING SERVICE.
- 9. CONSTRUCTION DE-WATERING AS NECESSARY BY CONTRACTOR.
- ADJUST ANY EXISTING MANHOLES, VALVES, HYDRANTS, AND HANDHOLES LOCATED WITHIN PROJECT LIMITS, TO PROPOSED GRADES,
- CONTRACTOR SHALL SUPPORT AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION OF ADJACENT WORK.
- 12. SEE SITE SURVEY FOR EXISTING CONDITIONS, IF ABANDONED WILLS ARE DISCOVERED ON THE PROPERTY, THEY MUST BE CAPPED BY A LICENSED WELL DRILL DRILLER, ACCORDING TO INDIANA, WELL DRILLING CODES AND RECOLLATION.
- 13. COORDINATE ALL DEMOLITION WORK WITH OWNER.















SITE DEMOLITION PLAN

PROJECT NUMBER CAD FILE DRAWN BY: CHECKED BY SHEET NUMBER

LAYOUT LEGEND:

TYPE 'A' PAVEMENT PER DETAIL.

TYPE '8' PAVEMENT PER DETAIL #2/C600.

6" CONCRETE PER DETAIL #MC600.

NOTE: ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS NOTED

PROPOSED LEGEND:

(D) (O) STORM INLET / MANHOLE

STORM TRASH RACK SANITARY CLEANOUT

CONTROL MANHOLE

0 × GREASE TRAP

GATE VALVE SIGN HANDICAP SYMBOL PER DETAIL #16/0500

O- UGHT POLE

ALTERNATE NO. 2 NOTE: ALL GRASS SEEDING, TREE AND LANDSCAPE PLANTINGS, HARDWOOD SHREDDED MULCH, AND TRENCH EDGING ARE TO BE INCLUDED AS A PART OF ALTERNATE NO. 2.

ALTERNATE NO. 3 NOTE:

ALL ASPHALT PAVING, TRAIL PAVEMENT, PAVEMENT STRIPING, MARKINGS, AND THE STONE BASE ARE TO BE INCLUDED AS A PART OF ALTERNATE NO. 1.

LAYOUT NOTES:

1) CONCRETE STOOP SEE STRUCTURAL DRAWINGS.

GRASSILANDSCAPE AREA ALL DISTURBED AREAS TO RECEIVE PERMANENT SECTION, DEE SPECIFICATIONS SECTION 20000 "LAWNIS & GRASSEE" AND LANGSCAPE TAAL LYD FOR THE TYPE OF SEED MIX. NIEEDED ON ADJACENT PROPERTY.

3 PAVEMENT MARKING SHALL BE 4" WHITE WATERBORNE PAINT. 4 PAVEMENT MARKING SHALL BE 4" YELLOW WATERBORNE PAINT,

5 HANDICAP PAVEMENT MARKINGS SHALL BE 4" BLUE WATERBORNE PABLE 6 6" VERTICAL CURB PER DETAIL #7/0600.

TRANSITION VERTICAL CURB FROM 6" HEIGHT TO MATCH PAVING OVER 3"-0".

8) 8" TALL x 10" WIDE CURB PER DETAIL #10/C800.

(9) CURB BREAK W/ ROCK CHUTE PER DETAIL #WC800.

10 CURB RAMP TYPE T' PER DETAIL #10/2/00.
11 CURB RAMP TYPE TI' PER DETAIL #1 1/2000.

12 CURB RAMP TYPE TILT PER DETAIL #12/C800.
(13) CURB RAMP TYPE TVF PER DETAIL #13/C800.

TO FOR REFERENCE ONLY. MENU BOARD SIGN, SEE SITE ELECTRICAL AND STRUCTURAL FOUNDATION DRAWINGS.

15) FOR REFERENCE ONLY PLANTER, SEE ARCHITECTURAL DRAWINGS. 6 FOR REFERENCE ONLY BOLLARD, SEE SITE ELECTRICAL PLAN.

4" CONCRETE SIDEWALK PER DETAILS #4/C600 AND #0/C600. NO.
REINFORCING SHALL BE INSTALLED IN LOCATIONS WHERE SEDI
WITHIN THE RIGHT-OF-WAY.

(18) CURB FACE WALK PER DETAILS #4/0600 AND #5/0800.

(19) "VAN ACCESSIBLE" HANDICAP SIGN PER DETAIL #15/CSIX.
(20) DUMPSTER ENCLOSURE PER DETAIL #9/CSIX.

(21) MONUMENT SIGN SEE SITE ELECTRICAL DRAWINGS.

(2) WHETE WATERBORNE PAINT, PAVEMENT MARKING - ARROW PER DETAIL #17/CR00,

23 2-0" WIDE BY 5-6" LONG CROSSWALK PAVEMENT MARKING SHALL BE 4" WHITE WATERBORNE PAINT.

(24) 12" FALL YELLOW WATERBORNE PAINT PAYEMENT MARKING 'NO PARKING'.

(25) 12" TALL WHITE WATERBORNE PAINT, PAVEMENT MARKING TEXIT".

(26) 12' TALL WHITE WATERBORNE PAINT PAVEMENT MARKING 'DRIVE THRU'.

(27) SURFACE MOUNTED, WAVE BIKE RACK, MODEL NO. H2544 WITH POWDER COAT FINISH, INSTALL PER WANUFACTURERS SPECIFICATIONS, COORDINATE COLOR WITH ARCHITECT.

(28) REPLACE ASPHALT PAVING FOR CITY TRAIL MATCH EXISTING WIDTH SEE DETAIL #18/C800.

(9) TRANSITION 10" WIDE CURB TO MATCH CURB FACE WALK.

(30) ELKAY OUTDOOR PEDESTAL FOUNTAIN WITH PET STATION NON-FILTERED, NON-REFRIGERATED MODEL LK4400DB COORDINATE COLOR WITH ARCHITECT.

(31) BIKE FIXATION FLOOR MOUNT, STAINLESS STEEL HIGH SECURITY DUTDOOR PUBLIC BIKE PUMP W GAUGE #26246 AND STAINLESS STEEL WHEEL CHOCK, 281956.

(2) If TALL SOUD VINIT, EMBLEM SCREEN FENCE MANUFACTURED BY FREEDOM OUTDOOR LIVING, INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS, COORDINATE COLOR WITH DYNER.



ENGINEERING





1 1104/24 REVIEW COMMENTS



SITE LAYOUT PLAN

PROJECT NUMBER CAD FILE DRAWN BY CHECKED BY SHEET NUMBER

C200

SITE LAYOUT PLAN SCALE: 1

SITE GRADING PLAN

GRADING LEGEND:

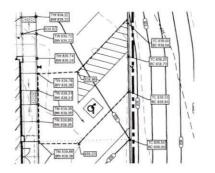
PROPOSED BREAKLINE ENERGY DISSIPATER

HOTE ALL ELEVATIONS ARE TO TOP OF PRIVEMENT OR LAWN UNLESS NOTED OTHERWISE

GRADING NOTE:

- HANDICAP ACCESSIBLE PARKING STALLS AND ROUTE TO BUILDING TO BE CONSTRUCTED WITH LESS THAN 2.0% MAXIMUM SLOPE IN ALL DIRECTIONS SEE ENLARGEMENT PLAN THIS SHEET,
- (3) LOCATION OF PROPOSED RETAINING WALL: COORDINATE WITH STRUCTURAL ENGINEER.





SITE GRADING PLAN- ENLARGEMENT
SCALE: 1" = 10"





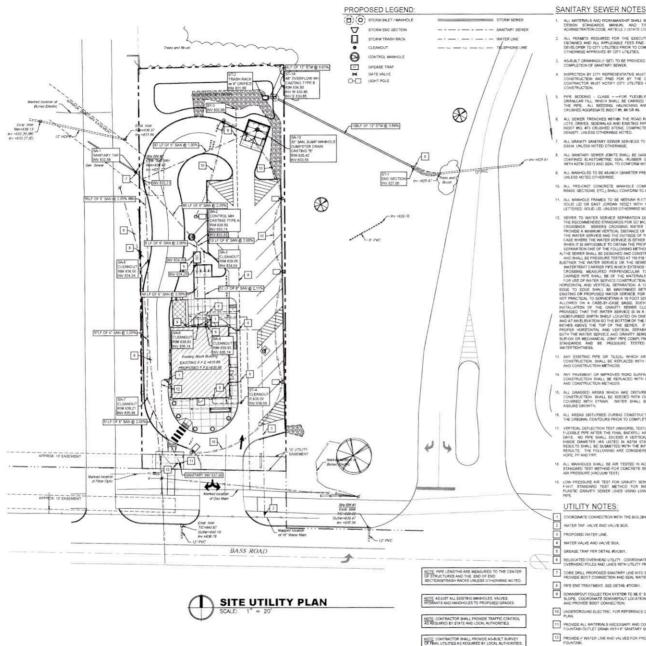






SITE GRADING PLAN

PROJECT NUMBER CAD FILE DRAWN BY CHECKED BY SHEET NUMBER



SANITARY SEWER NOTES:

- ALL MATERIALS AND WORKMANSHIP SHALL MEET THE CITY OF FORT WA DESIGN STANDARDS MANUAL AND TITLE 327 OF THE INDI-ADMINISTRATION CODE ARTICLE 1 (STATE CODE), LATEST VERSION.
- AS-BUILT DRAWINGS (1 SET) TO BE PROVIDED TO CITY OF FORT WATNE UPON COMPLETION OF SANITARY SEWER.
- INSPECTION BY CITY REPRESENTATIVE MUST BE PROVIDED FOR ALL SEWER CONSTRUCTION AND PAID FOR BY THE CONTRACTOR OR DEVELOPER. CONSTRUCTION.
- PIPE BEDDING CLASS ---FOR FLEXIBLE PIPE SHALL BE BEDDED IN GRANALAR FILL WHICH SHALL BE CARRIED 13 INCHES ABOVE THE TOP OF THE PIPE ALL BEDDING HAUNCHING AND INTIAL BACKFILL SHALL BE CRUSHED AGGREGATE INDOT #6, 89 OR 89.
- ALL SEWER TRENCHES WITHIN THE ROAD RIGHT-OF-WAY, UNDER PARKING-LOTS, DRIVES, SIDEMALKS AND EXISTING PIPES SHALL BE BACKFALED MITH INDOT MS. MTJ CRUBHED STONE, COMPACTED TO 56% MODIFIED PROCTOR DENSITY, UNLESS OTHERWISE NOTED.
- ALL GRAVITY SANITARY SEWER SERVICES TO BE PVC CONFORMING TO ASTMI
- ALL SANTARY SEWER JOINTS SHALL BE GASKETED ---- GIN ----- WITH A CONFINED ELASTOMETRIC SEAL (RUBBER GASKET), JOINT TO CONFORM WITH JOINTS ASTM F477.
- ALL MANHOLES TO BE 46-INCH DIAMETER PRECAST REINFORCED CONCRETE, 7
 UNLESS NOTED OTHERWISE.

SOLD LO DE BAST JORGAN STOCK WITH HODANDOS LETTREDE DIEGO LO PARES DEFENERE WORTED.

2. SEMPRE TO WATER SERVICE SERVANDO ESTANCES SHALL CONFORM TO

THE RECOMMENDED DEFENDANDOS OF THE ASA AL PLETE THE THE RECOMMENDED DEFENDANDOS OF THE ASA AL PLETE THE ASA ALL PLETE THE ASA ALL PLETE THE ASA ALL PLETE THE ASA

- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE REGRADED TO THE DRIGINAL CONTOURS PRIOR TO COMPLETION OF THE PROJECT.
- VERTICAL DEFLICTION TEST (MANDRE, TEST) SHALL BE PERFORMED ON ALL FLOWER, PIPE ATTER THE FINIK SHOCKEL HAS BEEN IN PLACE AT LEAST TO DAYS. NO PIPE SHALL DECED A VERTICAL DEFLICTION OF 5% ACTUAL HIGGIS CAMETINE AS LISTIC IN ASTIN STANDARDIS. DEFLICTION TEST RESULTS SHALL BE SUBMETTER WITH THE HIPE FRANCHANTER, TRATION LESS RESULTS SHALL BE SUBMETTED WITH THE HIPE FRANCHANTER, TRATION LESS RESULTS. THE FOLLOWING ARE CONSIDERED FLEXIBLE PIPES. DP. PACHECE, PANDERS TO THE PROPERTY OF THE PROPE
- ALL MANHOLES SHALL BE AIR TESTED IN ACCORDANCE WITH ASTM C1244, STANDARD TEST METHOD FOR CONCRETE SEVER MANHOLES BY NEGATIVE AIR PRESSURE (VACUUM TEST).
- 19. LOW PRESSURE AIR TEST FOR GRAVITY SEWER SHALL CONFORM TO ASTM F1417, STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF FLASTIC GRAVITY SEWER LINES USING LOW-PRESSURE AIR, FOR PLASTIC

UTILITY NOTES:

- 1 COORDINATE CONNECTION WITH THE BUILDING/PLUMBING DRAWINGS. WATER TAP, VALVE AND VALVE BOX.
- PROPOSED WATER LINE.
- 4 WATER VALVE AND VALVE BOX. GREASE YRAP PER DETAIL #5/0801.
- 6 RELOCATED OVERHEAD UTILITY, COORDINATE RELOCATION OF OVERHEAD POLES AND LINES WITH UTILITY PROVIDER.
- 7 CORE DRILL PROPOSED SANITARY LINE INTO EXISTING STRUCTURE PROVIDE BOOT CONNECTION AND SEAL WATER TIGHT.
- DOWNSPOUT COLLECTION SYSTEM TO BE 6" STORM LINE & 1.0% MINIMUM SLOPE. COORDINATE DOWNSPOUT LOCATIONS WITH BUILDING PLANS AND PROVIDE BOOT CONNECTION.
- 10 UNDERGROUND ELECTRIC. FOR REFERENCE ONLY. SEE SITE ELECTRICAL PLAN.
- PROVIDE ALL MATERIAL 5 NECESSARY AND CONNECT TO DRINKING FOUNTAIN OUTLET DRAIN WITH 6" SANTARY SEWER.
- PROVIDE WATER LINE AND VALVES FOR PROPOSED DRINKING

WATER SERVICE NOTES:

- WATER TO BE SUPPLIED BY THE CITY OF FORT WAYNE WATER UTILITY.
- WATER SERVICES SHALL BE INSTALLED ACCORDING TO FORT WAYNE WATER UTELTY "DETALED SPECIFICATIONS AND CONDITIONS FOR THE HISTALLATION OF TRANSMISSION AND DISTRIBUTION SERVICES CONSTRUCTION STANDARDS AND WATER SERVICE & WATER SERVICE MATERIAL STANDARDS LATEST REVISION.
- ALL PERMANENT AND TEMPORARY EASEMENTS AND PERMITS. INCLUDING STREET AND ROAD CUT PERMITS. NECESSARY FOR THE CONSTRUCTION OF THESE WARTES SERVICES SHALL BE SECURED AND PAID OF BY THE DEVELOPER AND TWO COPIES FURNISHED TO THE WATER ENGINEERING DEPARTMENT DEFORE CONSTRUCTION STATES.
- IT IS THE RESPONSIBILITY OF THE DEVELOPER TO OBTAIN ALL PERMITS INCESSARY TO ESTHER CUIT OR BORE UNDER THE PUSICE WAS FROM THE JUNESCHOTON HAVING COSTROL CVER THE PUSICE WAS APPROVIAL OF PLANS BY THE WATER ENGREERING DEPARTMENT DOES NOT WARRANT THE ISSUANCE OF THE PURINE WAS THE CONTRICLING AGENCY.
- WHERE SANTANY SERVER AND WATER BETWICE CROSS, ONE FULL LEADING OF WATER SERVICE BOALD BE CENTERED OVER THE BANTANY WHERE WATER WESS HERE SAN SERVER SAN SE
- WHERE A WATER SERVICE CROSSES UNDER A SEWER THE SERVICE SHALL USE 22" ELBOWS TO MINIMIZE THE LENGTH OF WATER SERVICE INSTALLED IN EXCESS OF LO FEET COVER.
- ALL WATER LINES SHALL BE INSTALLED USING CLASS B BEDDING. IN ACCORDANCE TO ASTM DAINS FOR RIGHD PIPE CLASS 'F' BEDDING TO BE USED FOR ALL PLEXIBLE PIPE.
- ALL WATER TRENCHES WITHIN THE ROAD RIGHT-OF-WAY OR UNDER PARKINS LOTS, DRIVES SIDEMALKS AND DISTING IPPE SHALL BE BACK/FILED WITH #55 OR #73 AGGREGATE COMPACTED TO 90% MODIFIED PROCTION TEST CENSITY.
- ALL WATER LINES IT OR LANGER MUST BE DISINFECTED ACCORDING TO
- 4" OR LANGER MATER SERVICES TO BE DUCTILE BION PRESSURE CLASS 50 OR DE 16 CMO PMC. WATER SERVICES BETWEEN 1" AND 2" DAMBETER BAILL BE TYPE X COPPER OR HOME 50R PRESSURE CLASS OCHPER TUBE BIZE (CTS), WATER SERVICES SMALLER THAN 1" SHALL BE TYPE X COPPER OF
- HOPE PIPING TO BE REDDED IN INDOT IS OR IN GRANULAR MATERIAL AND FREE FROM ROOKS, IS-WAP OBJECTS OR DESIGN PER ASTM 02774.
- ALL PIPE JOINTS SHALL BE IN ACCORDANCE WITH ANSI SPECIFICATIONS OF A21, 11 (AWMA C-111).
- GATE VALVES SHALL BE INSTALLED ON ALL WATER SERVICE 12" AND SMALLER, ALL GATE VALVES SHALL BE CAST IRON BOOY MADE IN ACCORDANCE WITH AWAY CASO FOR DOUBLE SEATED VALVES, AND C-509 FOR RESILENT SEATED VALVES AND ARE TO SE RIGHT HAMO (CLOCKWISS) OPERING.

- PLANS WERE PREPARED IN COMPLIANCE WITH STATE TECHNICAL STANDARDS PER 327 IAC 8-3.2. ALL MATERIALS ARE CERTIFIED IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANS) NATIONAL SANITATION FOUNDATION (NSF) INTERNATIONAL STANDARD ST.
- , ALL WATER SERVICES AND THEIR ACCESSORIES SHALL BE INSTALLED AND PRESSURE AND LEAK TESTED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF AWWA STANDARD CODES, 0003-00 COD
- ALL WORK TO CONFORM TO STATE AND LOCAL PLUMBING BACKFLOW PREVENTION CODES AND THE SPECIFICATIONS OF THE FORT WAYNE WATER LITLITY, PER STATE CODE. BACKFLOW DEVICES ARE TO BE TOSED UPON INSTALLATION AND THEN PERIODICALLY THEREAFTER SUBMIT COPIES OF TESTS TO THE WATER BEQUIREDING DEPARTMENT.
- VACUUM BREAKERS MUST BE INSTALLED ON ALL EXISTING OR PROPOSED HOSE BIBBS. MOPISERVICE SINUS, WALLYARD HYDRANTS.

STORM SEWER NOTES:

- MATERIAL AND WORKMANSHIP SHALL COMPLY WITH THE ALLEN COUNTY STANDARDS AND SPECIFICATIONS.
- ALL PIPE 17 AND SMALLER SHALL BE SOR 39 PVC. OR AUS N-12 HDPE UNLESS OTHERWISE NOTED. ALL PIPE LIARDER THAN 172 SHALL BE ADS N-12 HDPE OF OT CL1-11 ROP UNLESS OTHERWISE MOTED. ALL PIPE SHALL BE INSTALLED ACCORDING TO SPECIFICATIONS AND PIPE TRENCH DETAIL PIPE SHALL BE ACCORDING TO SPECIFICATIONS AND PIPE TRENCH DETAIL PIPE.
- MAINTAIN 10-0" MINIMUM HORIZONTAL AND 15" MINIMUM VERTICAL SEPARATION BETWEEN ALL SERVIER PIPPING AND POTABLE WAITER PIPING. VIYEN MINIMUM TOLERANCES CAN'T ER MAINTAINED, USE WAITERWORKS GRADE PIPE AND FITTINGS OF MATERIAL SELECTED.
- COORDINATE TAP LOCATIONS FOR ROOF DRAINS WITH BUILDING PLUMENS DRAWMORS ASSURE ALL REQUIRED FITTINGS ARE INSTALLED ON THE SERVICE LIKE PRIOR TO BACKFILLING, INCLUDE ADAPTER FITTING FOR DOWNSPOUTS.
- LINDERSROUND PIPING FOR DOWNSPOUT COLLECTION SYSTEM ILL BE 6' SOR 36 PVC STORM @ 1.50% MIN; SLOPE UNLESS NOTED HERWISE.



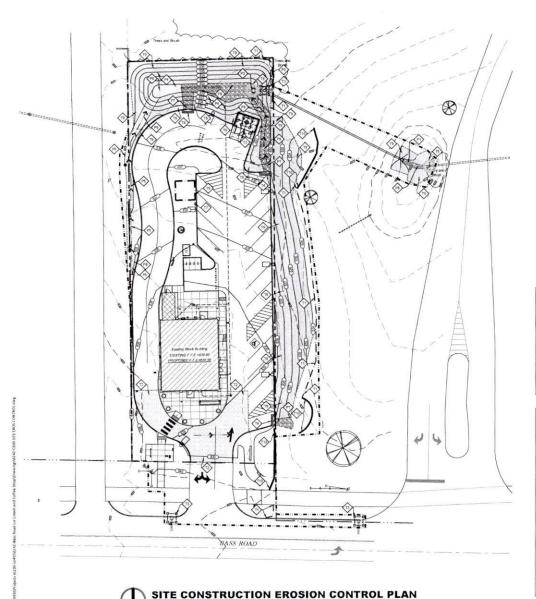








DRAYN BY. CHECKED BY



FUELING AREA AND VEHICLE AND EQUIPMENT MAINTENANCE / MATERIAL STORAGE NOTE:

- ON-SITE VEHICLE AND EQUIPMENT FUELING SHALL ONLY BE USED WHERE IT IS
- IMPRACTICAL TO SEND VEHICLES AND EQUIPMENT OFF-SITE FOR FUELING.
 IF ON-SITE FUELING IS NECESSARY, CONTRACTOR SHALL DESIGNATE A DEDICATED AN
- CONTRACTOR SHALL SUPPLY, CLEARLY MARK, AND KEEP CLEAN-UP MATERIALS AND
- SPILL KITS AVAILABLE IN FUELING AREAS.
 CONTRACTOR SHALL USE DRIP PANS OR ABSORBENT PADS DURING VEHICLE AND EQUIPMENT FUELING UNLESS FUELING IS CONDUCTED IN A DESIGNATED AREA. OVER
- AN IMPERIMEABLE CONTAINMENT AREA. FUELING AREAS SHALL BE ON LEVEL GRADE AND PROTECTED FROM STORM WATER RUN-ON AND RUN-OFF AND BE AT LEAST 100 FT FROM DOWNISTREAM DRAINAGE

- RUMON AND RUMORF AND BE AT LEAST 100 FT FIRED DOWNSTEAD CHANNING FACULTES AND ANTERCOURSES.

 CONTRACTOR SHALL USE FREIGH NOCKLES WITH AUTOMATIC SHLT-OFFE FUELING OPERATIONS SHALL USE FREIGH NOCKLES WITH AUTOMATIC SHLT-OFFE FUELING CHEATING SHE LINE OF THE CONTRACTOR SHALL NOT SHALL WITHOUT SHAPE AND TO CONTRACTOR SHALL NOT TOO FOR THE TABLE.

 CONTRACTOR SHALL NOTFOR THE SHALL SHALL

VEHICLE AND EQUIPMENT MAINTENANCE / MATERIAL STORAGE AREA.

- CONTRACTOR SHALL DESIGNATE A DESIGNATED AREA TO BE URBED # STORNING MATERIALS. MARKTARING OR STORROY VERVICES AND BOUPPINST ON-SITE. STORROY WE RECEIVE AND BOUPPINST ON-SITE. STORROY AND REAL PROPERTY OF THE STORROY WE RECEIVE AND REC

- BEIMS AND OF DREST OF TREASURE STATE. CONTAINMENT DRES OF DRILLS.

 CONTROL, PROVIDE INFORMERS ESPEL, CONTAINMENT DRES OF CONTROL OF CONTAINMENT AND ON STORED OF AND CHIEFAIL DRIVE. CONTRACTOR SHALL ENGINEER OF ANY USE OR ADDRESS OF THE LIST MATERIALS AND ANY CONTAINMENTED SIGNS ACCORDING TO FEDERAL STATE AND LOCAL.

PERMANENT OFF-SITE EXCESS SOIL AREA AND WETLAND NOTE:

EXCESS SOIL IS TO BE REMOVED FROM PROJECT SITE TO A PERMANENT STELL IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROJECT SITE TO A PERMANENT Y PLACE THE EXCESS SOIL RECORD AND CHARLEST REPORT TO PROJECT SITE OF THE EXCESS SOIL RECORD AND CHARLEST REPORT TO PROJECT SITE OF THE EXCESS SOIL RECORD AND CHARLEST SOIL RECORD AND CHARLEST SOIL RECORD AND CHARLEST SOIL RECORD AND CHARLEST STELL RECORD AND CHARLEST SOIL RECORD AND CHARLEST AND CHARLEST SOIL RECORD AND CHARLEST AND CHARLEST SOIL RECORD AND CHARLEST AND CHARLEST SOIL RECORD AND CHARLEST AND CHARLEST SOIL RECORD AND CHARLEST SOIL RECORD AND CHARLEST SOIL RECORD AND CHARLEST AND CHARLEST AND CHARLEST SOIL RECORD AND CHARLEST SOIL RECORD

SPILLS; REPORTING, CONTAINMENT, AND RESPONSE NOTE:

(317) 203-7745 FOR IN-STATE CALLS 1-868-233-7745 (TOLL FREE) FOR OUT-OF-STATE CALLS

AND THE LOCAL SPILL HAZARDOUS MATERIALS TEAM

- SPILLS THAT DAMAGE THE WATERS OF THE STATE SO AS TO CAUSE DEATH OR ACUTE INJURY OR ILLNESS TO HUMANS OR ANIMALS.

SPILLS TO SURFACE WATER.

SPILLS TO SOIL BEYOND THE FACILITY BOUNDARY.

SPILLS TO SOIL WITHIN THE FACILITY BOUNDARY THAT ARE HAZARDOUS SUBSTANCES OR EXTREMELY HAZARDOUS SUBSTANCES OF ONE HANDRED (180) POUNDS OR PETROLEUM THAT THE AMOUNT EXCEEDS FIT Y-PIPE (5) GALLOMS.

ANY SPILL FOR WHICH A SPILL RESPONSE HAS NOT BEEN DONE.

A SPILL OF ANY SIZE SHALL BE CONTAINED AND CLEANED UP IMMEDIATELY USING ACCEPTABLE METHODS ACCORDING TO THE TYPE OF MATERIAL SPILLED AND THE SURFACE THE SPIL COURRED ON.

EROSION CONTROL LEGEND:

SILT FENCE



INLET PROTECTION



CURB SREAK SANDBAG SEDIMENT BARRIER



CONCRETE WASHOUT AREA



CONSTRUCTION LIMITS





SEDIMAN-FR* FILTRATION ROLL SEDIMENT CONTROL DEVICE



EROSION CONTROL BLANKET





16 INSTALL CONCRETE WASHOUT STRUCTURE PER DETAIL #6/0502.

INSTALL CONCRETE WASHOUT AREA SIGN PER DETAIL \$77,0502. (18) INSTALL RIP-RAP DONUT PER DETAIL \$13/0502. 59 INSTALL EROSION CONTROL BLANKET PER DETAIL MICSOZ.

INSTALL SEDIMAX-FR* FILTRATION ROLL SEDIMENT CONTROL DEVICE PER DETAIL #1 1/0562.

P1 INSTALL ENERGY DISSIPATER PER DETAIL #13/0502. P2 INSTALL TRASH RACK PER DETAIL #14/C502. P3 INSTALL OVERFLOW MANHOLE PER DETAIL MICROS. P4 DRY DETENTION BASIN.

PS INSTALL VEGETATED SWALE VV TRM PER DETAIL \$190,502. NSTALL TURF REINFORCEMENT MAT (TRM) PER DETAILS #9 & #10/C502.

PT INSTALL CURB BREAK WITH ROCK CHUTE PER DETAIL MICSOL

FIS INSTALL RIP RAP SWALE PER DETAIL #15/0502.

STORM WATER SEVER LINES SHOWN ARE FOR REFERENCE ONLY, SEE SHEET CASS SITE UTILITY PLAN FOR STORM WATER SEWER LINE SIZE, INVERT, ETC.

!! IMPORTANT !!

CONTRACTOR MUST MAINTAIN AND REPLACE ALL EXISTING DRANAGE PATHET THROUGH THIS STE. REQUARDLESS OF GRAPHER REPRESENTATION ON THE PLANS LITE. PERPORED IMPROVEMENTS ARE MISTALLED CONTRACTOR IS RESPONSIBLE. FOR MAINTAINED ALL EROSING NOTIFIC MEASURES AND DEVICES UNIT. ADEQUATE RE-VEGETATION AND STABILIZATION IS ACHEVED.

0.96 ACRE

DISTURBED AREA:









1 1/04/24 REVIEW COMMENTS

SITE CONST. EROSION CONTROL PLAN

SITE POST-CONSTRUCTION EROSION CONTROL PLAN

EROSION CONTROL LEGEND:



TURF REINFORCEMENT MAT

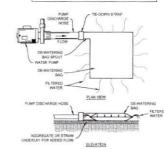


PB INSTALL RIP RAP SWALE PER DETAIL #15/C502.

NOTE:

STORM WATER SEWER LINES SHOWN ARE FOR REFERENCE ONLY, SEE SHEET C400 STE UTILITY PLAN FOR STORM WATER SEWER LINE SIZE INVERT ETC.

PERMANENT EROSION CONTROL DEVICES AND MEASURES NOTE:



- SECRETAL CONTROL DEVIATERING BAG.

 1. CONTRACTOR SHALL DER PROPRIETT DEVICES PROVIDING A MINIMAM REMOVAL DIVIDENCEN OF DIS MOY TOTAL QUINDINGNES SOUCHS (198), (1974), OF DAMOY DIVIDENCES OF DAMOY DEVIATE AND CARROLL BE MADE OF A HOMEWORK IN ARRIC METTING OR DECEDING THE MINIMAM MOOGRAFIENTS OF THE FOLDMAND TALE AND SE CONSTRUCTED SPECIFICALLY FOR THE PURPOSES OF SERVINGT CONTROL FROM DEFEATERING PERSONNES AND OBJECT THE PURPOSES OF SERVINGT CONTROL FROM DEFEATERING PERSONNES AND OBJECT AND THE MADE OF THE

DE-WATERING BAG NON-WOVEN	DEOTEXTILE FABRIC R	EQUIREMENTS
PHYSICAL PROPERTY	TEST METHOD	MENEMUM VALUE
GRAB TENSILE STRENGTH	ASTM D 4632	200 LBS.
GRAS TENSILE ELONGATION	ASTM D 4632	50
PUNCTURE STRENGTH	ASTM D 4833	120 LBS.
APPARENT OPENING SIZE (AOS)	ASTM D 4751	#80 U.S. SIEVE
WATER FLOW RATE	ASTM D 4491	95 GALMINISOFT







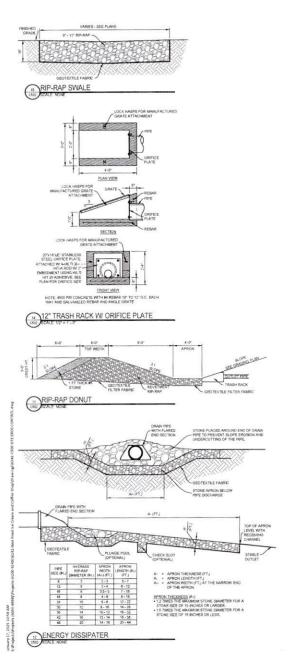


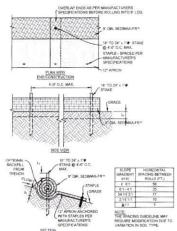




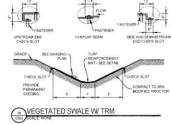
SITE POST-CONST.

EROSION CTRL. PLAN





SEDIMAX-FR SEDIMENT CONTROL



INSTALLATION

- CONTRACTOR TO SELECT A TURY REINFORCEMENT MAT 19TH A 24.9 LB LV-STARLE POLYPROPYLENE TOW AND BOTTOM NETS. 24.0 LB UV-STABLE POLYPROPYLENE TOWN AND STATEM. THE CORRUNATED SENTER NET. AND 100 POLYPROPYLENE FIREM MATTEM. THE TRIM IS TO KATED FOR EXTREME HIGH-FLOW CHANNELS 1.1 & OREATER SLOPES AND HAVE A 3-MONTH ORDIN IN PERIOD.
- ORADE AND PREPARE THE SOIL FOUNDATION FOR MAT INSTALLATION AS PER MANUFACTURER'S INSTRUCTIONS.
- - ANCHOR THE BLANKETS AS SPECIFIED BY THE MANUFACTURER. THIS TYPICALLY INVOLVES DRIVING IT TO 12" METAL STAPLES INTO THE GROUND IN A PATTERN DETERMINED BY THE SITE CONDITIONS AND TYPE OF TURY REINFORCEMENT MAT
 - THE CONTRACTOR MUST INSTALL THE TRIM PER MANUFACTURE'S SPECIFICATIONS MAINTAINING CONTACT WITH THE SEEDED GRADED SOIL AS TO REDUCE THE CHANCE OF SOIL EROSSON UNDER THE TRIM.

TURF REINFORCEMENT MAT

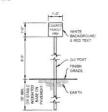




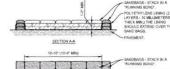
INSTALLATION

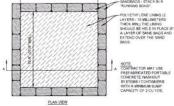
- CONTRACTOR TO SELECT A 12-MONTH BEODEGRADABLE EROSION CONTROL BLANKET RATED FOR 3.1 TO 2.1 SLOPES.
- INSTALL EROSION CONTROL MEASURES AND PRACTICES NEEDED TO CONTROL EROSION AND RUNOFF, SUCH AS TEMPORARY OR PERMANENT DIVERSION, SEDIMENT BASIN OR TRAP, AND SEX TEMPOR.
- 3. GRADE THE SITE AS SPECIFIED IN THE CONSTRUCTION PLAN.
- PREPARE THE SEEDBED. FERTILIZE (AND LIME, IF NEEDED), AND SEED THE AREA IMMEDIATELY AFTER GRADING.
- FOLLOWING MANUFACTURER'S DIRECTIONS. LAY THE BLANKETS ON THE SEEDED AREA BUCH THAT THEY ARE IN CONTINUOUS CONTACT WITH THE SOIL AND THAT THE UPSIGNED OF UNSTEASE MEANET OVERSIA. THE LOWER BLANKET BY 4 6 INCHES OR AS PER MANUFACTURER'S RECOMMENDATIONS.
- TUCK THE UPPERMOST EDGE OF THE UPPER BLANKETS INTO A CHECK SLOT (SILT TRENCH), BACKFILL WITH SIDE, AND TAMP DOWN.
- ANCHOR THE BLANKETS AS SPECIFIED BY THE MANUFACTURER. THIS TYPICALLY INVOLVES DRIVING BIODEGRADABLE STAKES INTO THE GROUND IN A PATTERN DETERMINED BY THE SITE CONDITIONS AND TYPE OF ERDSION CONTROL BLANKET.

EROSION CONTROL BLANKET

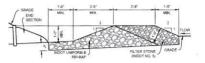


CONCRETE WASHOUT SIGN

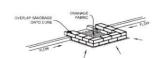




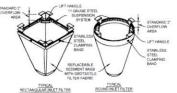
CONCRETE WASHOUT STRUCTURE



S END SECTION INLET PROTECTION



CURB BREAK SEDIMENT BARRIER







FLEXSTORM DISTRIBUTED BY ADS AND MANUFACTURED BY NLET & PIPE PROTECTION, INC.

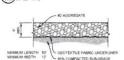
INSTALLATION

REMOVE GRATE

DROP RESTORM INLET FILTER INTO LOAD BEARING UP OF CASTING OR CONCRETE STRUCTURE

REPLACE GRATE

PAVEMENT INLET PROTECTION



CONSTRUCTION ENTRANCE



- 1. INSPECT THE SILT FENCE PERIODICALLY AND AFTER EACH STORM EVENT
- IF FENCE FABRIC TEARS, STARTS TO DECOMPOSE, OR IN ANY YEAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED PORTION IMMEDIATELY
- REMOVE DEPOSITED SEDIMENT WHEN IT REACHES HALF THE HEIGHT OF THE FENCE AT ITS LOWEST POINT OR IS CAUSING THE FARRIC TO BULGE.
- 4. AVOID UNDERMINING THE FENCE DURING CLEANOUT.
- REMOVE THE FENCE AND SEDMENT DEPOSITS AFTER THE CONTRIBUTION DRAINAGE AREA HAS BEEN STABILIZED. BRING THE DISTURBED AREA TO GRADE AND STABILIZE.

SPECIFICATIONS.



(I thick bern Steet, Suite 30) foorWorke, Brakers 4460) P. Skilder 200

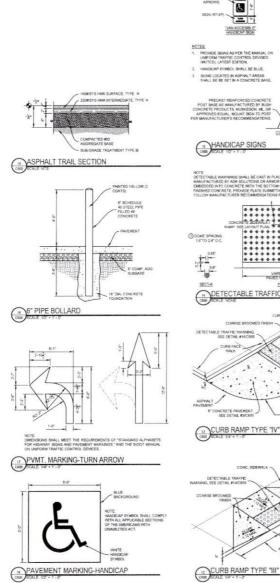


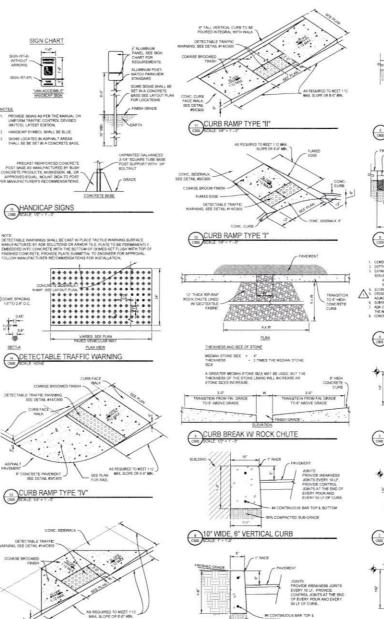




2 11/19/24 REVIEW COMMENTS 1 11/04/24 REVIEW COMMENTS 10/18/24 ISSUED FOR BID

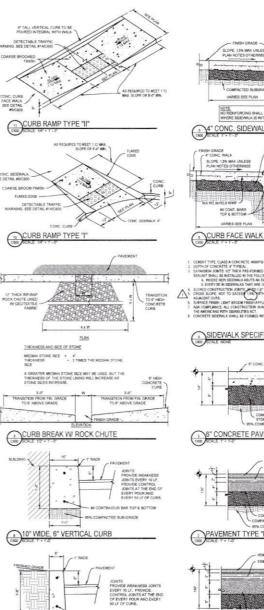
SITE EROSION DETAILS

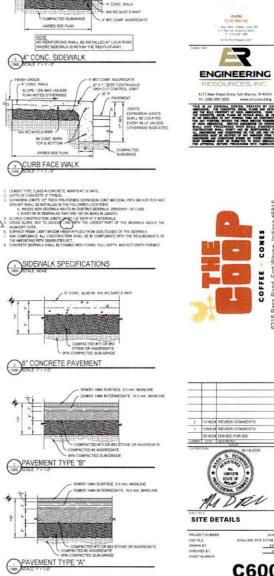




6" VERTICAL CURB

SON COMPACTED SUB-GRADE





COFFEE

C600

LOCATED EVERY 50 LF UNLESS OTHERWISE INDICATED.

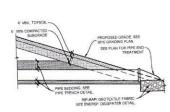
95% COMPACTED SUB-GRADE

CONCRETE PAD WITH TURNDOWN AND CURB SECTION

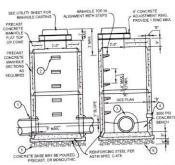
WOOD SCREW

WOOD TO GALVANIZED STEEL CONNECTION DETAIL SECTION

RECESSED 1/2" GALVANIZED BOLT AND NUT AT 24" O.C. GALVANIZED RAIL HSS 3 1/2" x 1 1/2" x 31/6" (LLV) (ASOC C) W. WEEP HOLES (CENTERED ON THE SPAN IN THE BOTTOM)



PIPE END TREATMENT



DETAIL NOTES

SEAL STRUCTURE WALL WITH PSX BOOT, OR A-LOX GASKET FOR SMOOTH WALL ACCORDING TO ASTM CR23. STANDARD FIBERGLASS MANHOLE STEPS.

3) DRILLED OR PRECAST OPENING.

(2) WEEP PIPES REQUIRED FOR EACH STORM STRUCTURE. PROVIDE FILTER FABRIC OVER WEEP OPENING.

(5) #8 GRAVEL BASE.

NOTE BOOTS REQUIRED UNLESS LOCAL COMMUNITY ALLOWS

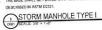
OTHERWISE.

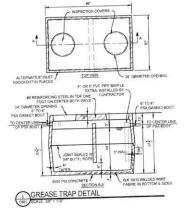
GENERAL CONSTRUCTION REQUIREMENTS:

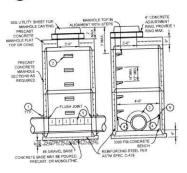
1. MANIOLE MADE IN ACCORDANCE WITH ASTM C-478 AND INDOT SECTION 726. SPECIFICATION STANDARDS. ALL PIPES SHALL HAVE A SMOOTH FINISH
MANHOLE JOBITS TOROUE AND GROOVE WITH BUTYL ROPE OR RING IN ACCORDANCE

WITH ASTM C-443 AND ASTM C891.

4. THE BASE SHALL BE PLACED ON 8" MIN. COMPACTED CLASS I OR CLASS II MATERIAL AS







WALL THICKNESS "A" MH DIA, I "B"

DETAIL NOTES. BEAL STRUCTURE WALL WITH PSX BOOT, OR A-LOK GASKET FOR SMOOTH WALL ACCORDING TO ASTM C92).

2 STANDARD FIBERGLASS MANHOLE STEPS. 3 DRILLED OR PRECAST OPENING.

MATCH CROWN ELEVATION OF PIPE.

4% MIN. SLOPE TO SPRINGLINE.

GENERAL CONSTRUCTION REQUIREMENTS.

1. MANNOLE MADE IN ACCORPANCE WITH ASTMIC-478 AND INDOT SECTION 728
SEPECHFEATOR STANDARDS.

2. PIPE GIVAL BE LIAD STRAKHT THROUGH WITH SPLIT TILE OR BROWN OUT INSIDE TO

2. PPIS_DIVISL BE UM-SHOOTH PRIBLE SHOULD BE APPROVED PRIOR TO CONSTRUCTION.
3. SHOPPING SHOULD BE APPROVED PRIOR TO CONSTRUCTION.
4. SHOULD CONTEXT DOMOLIS AND GROOVE WITH SUTYL, DIPED OR RING IN
ACCOUNTAGE OF WITH ASTEN CARLA OR ASTEN CEST.
5. THE DAME SHALL BE PLACED ON 6" MINL COMPACTED CLASS I OR CLASS II MATERIAL
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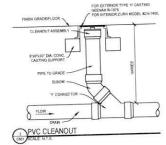
5. THE DAME SHALL BE PLACED ON 6" MINL COMPACTED CLASS I MATERIAL MA

AS DESCRIBED IN ASTM D2321.

6. ALL INSIDE JOINTS OF MANHOLE COMPONENTS SHALL BE SMOOTHED WITH MORTAR.

7. MINIMUM DIAMETER OF THROUGH PIPE SHALL BE 8".

CONTROL MANHOLE

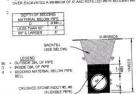


CASTING TYPE	CATALOG NUMBER		DESCRIPTION	PLAN VIEW	SECTION VIEW
	NEENAH	EAST JORDAN			
A	LID & FRAME 1772	LID 1025AHDGS FRAME 1022Z1	SOLID WI "SANITARY SEWER" LETTERING		1
В	LID: 2502 FRAME: 1772	LID: 1022-M1 FRAME: 1022	OPEN W/ FISH LOGO		leaners of
н	LID & FRAME 1976	LID & FRAME 1578	SOLID		
NOTES:		PECIFIED, OR APP			
		SURFACES TO B		- 0	
	MARIEN LINES I	TH ASTM A48-63 CL METH STORM INLET EDED TO PROVID	ASS #35. CONTRACTOR TO E SUFFICIENT SUP	OVERIFY IF A SPE PORT.	ECIAL ORDER



BEDDING SPECIFICATIONS

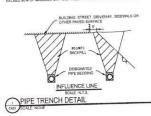
FOR ROCK OR OTHER NON-COMPRESSIBLE MATERIAL. THE TRENCH SHALL BE DVEK EXCAVATED A MINIMUM OF ET AND REFILLED WITH BEDDING MATERIAL.



(FLEXIBLE PIPE) GRANULAR MATERIAL INDOT #5, #6, #9 (RIGID PIPE)

BACKFILL SPECIFICATIONS

- BACKFILL WITHIN PLEES ROW, UNDER PAVED AREAS, AND WITHIN THE INFLUENCE OF BULDEDS STRUCTURES BHALL DUTTION AT A 11 SLOPE FROM ABOVE ITEM. COMPACTIONS SHALL MEET ON EXCEED 99% OF MANAMAR OF UNIT WITHIN ENCORPORATION SHALL MEET ON EXCEED 99% OF MANAMAR OF UNIT WITH WITHIN THE CORROBING TO ASTATION SHALL MEET ON EXCEED 99% OF





Tot Worldery Smeet, Surie 200 fort Worker, Evaland M600 P. 240-424, 200





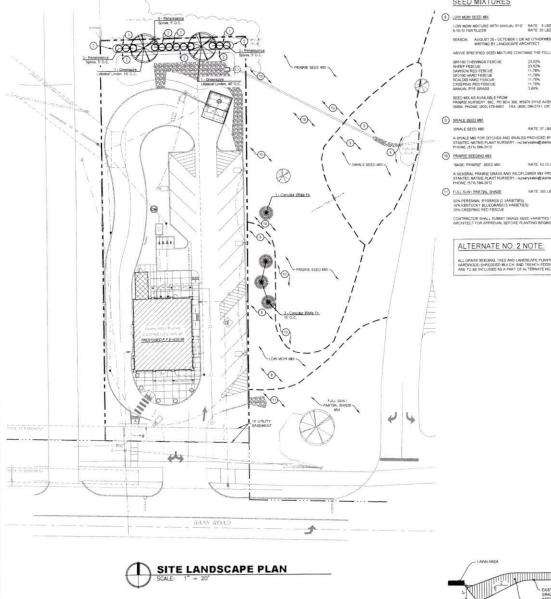


2 11/18/24 REVIEW COMMENTS 1 11/04/24 REVIEW COMMENTS



SITE UTILITY DETAILS

PROJECT NUMBER CAD FILE: DRAWN BY CHECKED BY SHEET NUMBER



SEED MIXTURES

LOW MOW MEXTURE WITH ANNUAL RYE RATE 5 LBS PER 1000 SQ. FT. 5-10-10 FERTILIZER RATE 20 LBS PER 1000 SQ. FT.

SEASON AUGUST 20 - OCTOBER 1 OR AS OTHERWISE APPROVED IN WRITING BY LANDSCAPE ARCHITECT.

ABOVE SPECIFIED SEED MIXTURE CONTAINS THE FOLLOWING GRASSES

SEED MEX AS AVAILABLE FROM
PRAIRIE NURSERY INC., PO BOX 306, W5876 DYKE AVENUE, WESTFIELD, WI
58894, PHONE (800) 478-9453. FAX: (808) 298-2741. DR EQUAL

RATE 17 LBS PER ACRE

(10) PRAIRIE SEEDING MEX

"BASIC PRAIRIE" SEED MIX RATE 42,13 LBS PER ACRE

FULL SUN / PARTIAL SHADE

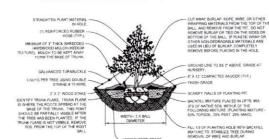
ALTERNATE NO. 2 NOTE:

TRENCH EDGE DETAIL

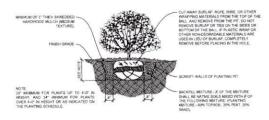
LANDSCAPE NOTES:

- ALL PLANTING BEDS SHALL HAVE 3" OF HARDWOOD SHREDDED MULCH, MAINTAIN POSITIVE DRAINAGE.
- ALL PLANTING BEDS LOCATED NEXT TO TURF AREAS SHALL HAVE A TRENCH EDGE PER DETAIL \$41.10.
- COORDINATE ALL PLANTINGS WITH UNDERGROUND UTILITIES
- 4 INSTALL TREES PER PLANTING DETAILS #1 AND #3/L1.0.
- INSTALL SHRUBS PER PLANTING DETAILS #2/L1.0.
- PROTECT OFFICIAL SPECIAL SPECI

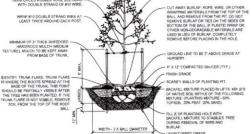
Hilli	Child Helling	PLANTING SCHEDULE			No.		
QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	SPACING		
I de	TREES		Aleksa (0.25		
4	Contaior White Fit	Asses concolor	7-8 HL	636	As Show		
2	Greenspire Littleleaf Linden		£5' cal	-949	40' 0.6.		
(H)	SHRUBS						
12	Renaissance Spires	Spiraea x vanhouttel 'Renaissance'	15"-24"	5 Gallion	5' O.C.		



EVERGREEN TREE PLANTING DETAIL







STRAIGHTEN PLANT MATERIAL IN HOLE.

TREE PLANTING W/ POST DETAIL













SITE LANDSCAPE PLAN

BOASH 180 SITE LANDSCAPE
AD
DB

L100