

Board of Park Commissioners Project Summary

Duck Street Temporary Construction Easement

Project Approval Request

Scope of Work:

This request is for approval of a temporary construction easement for all infrastructure and landscape work associated with the Lofts at Headwaters construction project.

Board Approval/Summary:

Park staff has evaluated the attached Right-Of-Entry Agreement drafted by Community Development on behalf of Barrett Realty Companies, between said company and Fort Wayne Parks and Recreation. We believe this easement and the associated work are necessary, appropriate, and best serves the needs of the public.

Fort Wayne Parks and Recreation will not be responsible for any funding associated with this easement, nor will we require payment for the proposed easement.

The agreement defines responsibilities associated with any damages to the property that may occur as a result of access and/or construction activities, and includes a graphic illustrating the extent of impacts within the Duck Street ROW and adjacent Headwaters Park parking lot.

The Fort Wayne Parks and Recreation and the Board of Park Commissioners met to host their regularly scheduled monthly Board meeting on **March 12, 2026**, to approve the above-referenced project and MOU as described in the attachment.

We, the Board of Park Commissioners, on the date stated, do ATTEST, sign the above-referenced and attached documents, and approve as presented.

Justin Shurley, President

Cory Miller, Vice-President

Richard Briley, Commissioner

Jenna Jauch, Commissioner

Steve McDaniel, Director/Board Secretary

RIGHT-OF-ENTRY AGREEMENT

This Right-of-Entry Agreement ("Agreement") is entered into this 12th day of March, 2026, by and among the City of Fort Wayne Board of Park Commissioners ("BPC") and Barrett Realty Companies ("BRI").

RECITALS

- A. BPC is the caretaker of certain real estate located in the City of Fort Wayne, Indiana commonly known as the Headwaters Park Pavilion Parking Lot ("Real Estate"). A map of the Real Estate is attached hereto as Exhibit A.
- B. BRI and its contractor desires to enter the Real Estate to conduct certain construction and landscaping as described more fully on attached Exhibit B ("Work"), and BPC is willing to permit such construction to be conducted in accordance with and subject to the terms and conditions of this Agreement. All Work shall be in accordance with City of Fort Wayne construction standards.
- C. BRI may cause the Work to be performed by one or more contractors ("Contractor"), and references to Contractor herein shall include such contractors retained by BRI.

AGREEMENT

ACCORDINGLY, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged by the parties, the parties hereto agree as follows:

1. Access. BPC hereby grants to BRI, including its agents, employees, contractors and assigns, access to, over, under, across, and through the Real Estate for the purpose of performing the Work.
2. Notice. BRI shall provide BPC with notice at least three (3) business days prior to contractor's first entry onto the Real Estate to commence the Work. The notice shall provide a schedule for the Work to be conducted, including dates, times and planned activities ("Schedule"). Contractor shall endeavor to schedule the Work so as to avoid any possible adverse effect upon the normal and customary operation of the Real Estate.
3. Schedule. Contractor shall complete the Work prior to May 28, 2026 ("Period of Work").
4. Duty of Care. BRI, and its agents, employees, contractors and assigns shall conduct all Work on the Real Estate in a safe and workmanlike manner, shall utilize best efforts to avoid injury to persons or damage to property, and shall use good faith efforts to perform the Work in accordance with the

Schedule. Contractor shall immediately notify BPC of any injury or damage which BRI knows to have occurred in connection with performance of the Work on the Real Estate.

5. Environmental. City of Fort Wayne Redevelopment shall be responsible for all pre-existing environmental conditions on the site and how they should be handled during construction.
6. Insurance.
 - A. Contractor shall at its expense maintain in full force and effect for the duration of the Work, the following minimum insurance coverage:

Worker's Compensation	Per statutory requirements
General Liability	\$1,000,000 minimum per occurrence/\$2,000,000 aggregate
Automobile Liability	\$1,000,000 minimum per occurrence
Products Liability	\$2,000,000 aggregate
Completed Operations Liability	\$2,000,000 aggregate
 - B. The following shall be named as additional insured parties on each policy:
 1. The City of Fort Wayne Board of Park Commissioners
 2. City of Fort Wayne, Indiana
 - C. Contractor shall deliver proof of insurance coverage to City prior to commencing the Work.
 - D. If there are any changes in coverage, or cancellation or non-renewal of a policy, notice thereof and if required an updated certificate of insurance must be delivered by Contractor to City within three (3) days in the manner specified in Section 11 of this Agreement.
7. Indemnity. Contractor shall:
 - A. Release BPC from any claims asserted against Contractor for its activities under the Agreement; and
 - B. Indemnify and hold harmless BPC from any and all claim, liabilities, damages, costs, and expenses (including reasonable attorney fees) arising from property damage, personal injury, death, business interruption or environmental damages in connection with Contractor's activities under this Agreement.
8. Restoration. Contractor shall at Contractor's expense maintain the Work area on the Real Estate in good, clean and neat condition. Contractor shall complete construction per the subsequently reviewed, approved, and updated construction documents. Contractor shall restore any damaged areas outside of the Work areas including but not limited to lawn, plants, and utilities caused by Contractor's activities.
9. Information Sharing. Contractor shall provide to BPC, upon request and without charge, a summary of the results of any inspections, sampling or other testing performed as part of the Work, provided the contract for services between BRI and the City of Fort Wayne Department of Redevelopment regarding the Work has been fulfilled.
10. Compliance. Contractor agrees that the Work conducted hereunder, including the storage, treatment, recycling, and disposal of any materials generated by the Work or otherwise shall be in accordance with applicable federal, state, and local law.

11. Duration and Termination. This Right-Of-Entry to the Real Estate granted to BRI under this Agreement shall terminate upon the expiration of the Period of Work, unless extended in writing by City.

12. Notices.

- A. Any notice, designation, consent, approval, offer, acceptance, statement, request, or other communication ("Notice") required or allowed under this Agreement shall be in writing. Notice to a party shall be given at the party's address stated below or at such other address as a party may designate in a Notice to the other party. Any party may change the names of those to receive Notices by providing a Notice to the other parties clearly providing the modified contact information.

If to City:

City of Fort Wayne Board of Park Commissioners
Attn: Director
705 East State Blvd
Fort Wayne, Indiana 46805

And to:

City of Fort Wayne Department of Redevelopment
Attn: Director
200 East Berry Street, Suite 320
Fort Wayne, Indiana 46802

And to:

Lawrence Shine
City of Fort Wayne Law Department
Citizens Square
200 East Berry Street, Suite 435
Fort Wayne, Indiana 46802

If to BRI:

Barrett Realty Investments, Inc.
Attn: Nick Barrett
200 S. Rangeline Road, Ste 225
Carmel, IN 46032

- B. Notice shall be deemed given when:
1. Personal service of the Notice is made on the party to be notified;
 2. The Notice is mailed to the party to be notified by means of certified or registered U.S. mail, return receipt requested, postage prepaid; or
 3. The Notice is sent to the party to be notified by express courier such as "Federal Express", or such other similar carrier guaranteeing next day delivery, fees prepaid.
- C. Refusal by a party to accept a Notice shall not affect the giving of the Notice.

13. Miscellaneous Provisions.

- A. Binding Agreement. This Agreement shall run with the Real Estate and shall bind and apply to BRI and their respective successors in interest. The access rights granted by this Agreement shall benefit BRI and burden the BRC Property.
- B. Invalid Provision/Severability. The invalidity or unenforceability of any particular portion of this Agreement shall not affect the other provisions of it, and this Agreement shall be construed in all respects as if such invalid or unenforceable provision was omitted.
- C. Amendments. No amendments, modifications, alterations, or additions to this Agreement shall be binding unless made in writing and signed by BRC and BRI or their respective legal representatives or successors.
- D. Governing Law. This Agreement shall be governed in all respects by the laws of the State of Indiana.
- E. Rule of Construction. The judicial rule of construction requiring or allowing a document to be construed to the detriment or against the interests of the document's maker or drafter shall not apply to this Agreement.
- F. Headings. The section headings in this Agreement are included solely for convenience and shall not affect or be used in connection with the interpretation of this Agreement.
- G. Counterparts. This Agreement may be executed in several counterparts, each of which shall be deemed an original, but together the counterparts shall constitute one and the same document.
- H. Computation of Time. In computing a time period prescribed in this Agreement, the day of the act or event shall not be counted. All subsequent days, including intervening weekend days and holidays, shall be counted in the period. The last day of the period so computed is to be included unless it is a weekend day or a legal holiday under Indiana law, in which case the period is to be extended to the next day that is not a weekend day or legal holiday.
- I. Entire Agreement. This Agreement constitutes the entire agreement and supersedes all prior agreements and understandings, both written and oral, between the parties with respect to the subject matter contained herein.
- J. Review by Counsel and Authority to Sign. The parties acknowledge that they have each had the opportunity to have this Agreement reviewed by their respective attorneys prior to its execution and that they each have the authority to execute this Agreement on behalf of and to bind their respective entities.
- K. Termination of Agreement. At such future time as the Work shall be completed or terminated prior to completion by BRI, or terminated pursuant to the terms of this Agreement, this Agreement shall terminate and be of no further force and effect.
- L. Recitals. All recitals set forth in this Agreement are incorporated herein by reference and are true.
- M. Effective Date. This Agreement shall be effective on the date of the last dated signature below (the "Effective Date"), and that date shall be entered on page 1 hereof.

This Agreement has been signed on the date written above

Barrett Realty Companies ("BRI")

By: 

Its: Nick Barrett or Zach Barrett

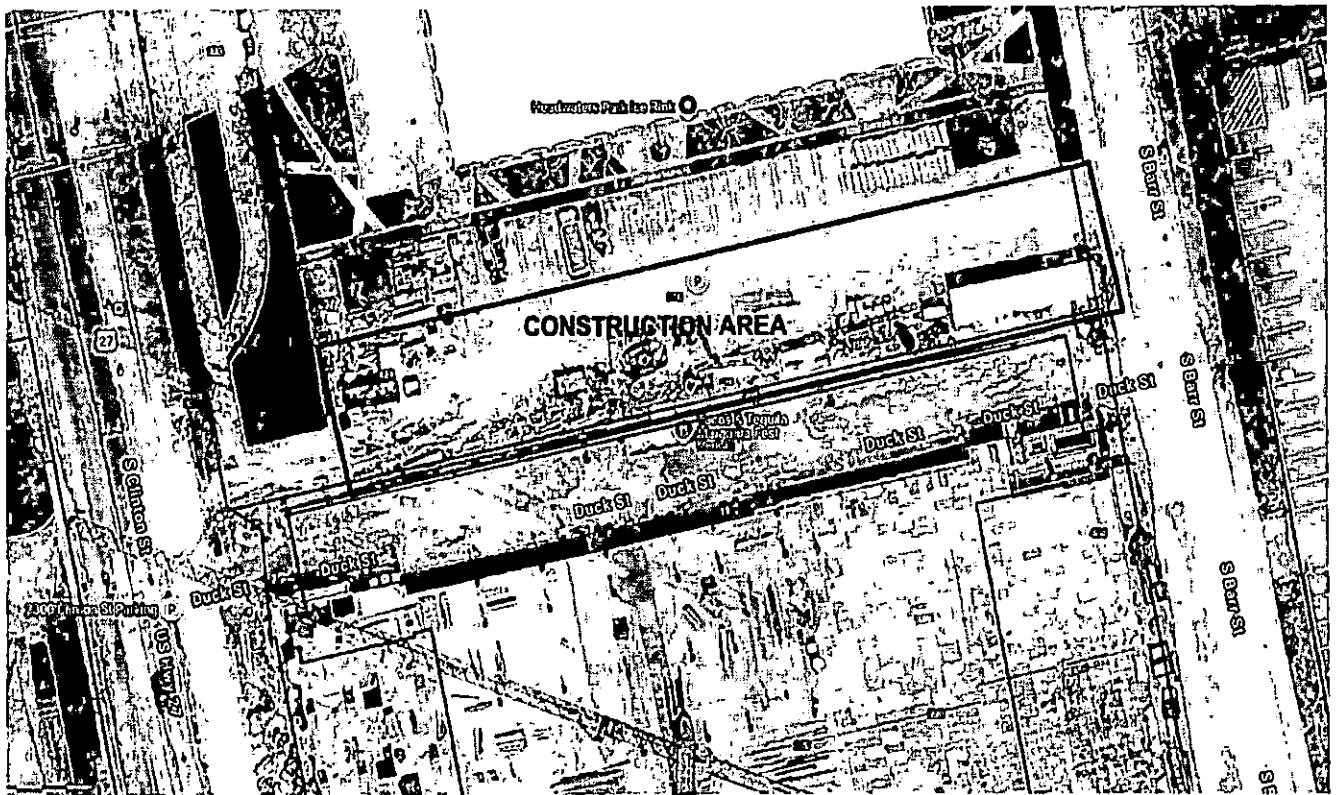
BOARD OF PARK COMMISSIONERS ("BPC")

By: _____

Its: Steven McDaniel, Director

*This instrument prepared by Holly Jo Petzak, CD Manager
Fort Wayne Department of Redevelopment, 200 East Berry Street, Suite 320, Fort Wayne, Indiana 46802.*

EXHIBIT A



DUCK STREET PARKING LOT

333 S. CLINTON STREET
FORT WAYNE, INDIANA 46802
SUBMITTAL SET
JANUARY 30, 2026



VICINITY MAP
NOT TO SCALE



LOCATION MAP
NOT TO SCALE

DRAWING INDEX		
Sheet Number	Sheet Title	Drawing No.
1	TITLE SHEET	C000
2	EXISTING CONDITIONS / TOPOGRAPHIC SURVEY	TOPO
3	DEMOLITION PLAN	C100
4	SITE PLAN	C200
5	GRADING & DRAINAGE PLAN	C300
6	UTILITY PLAN	C500
7	SITE DETAILS	CR01
8	SITE DETAILS	CR01
9	STORMWATER POLLUTION PREVENTION PLAN	C900
10	STORMWATER POLLUTION PREVENTION DETAILS	CR01

REFERENCE

1. TOPOGRAPHIC SURVEY PROVIDED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. SURVEY DATED 01/23/2026, PROJECT 357-200
2. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THE SET OF DOCUMENTS FULLY DEFINE ALL WORK ASSOCIATED WITH THE PROJECT.
3. REFER TO CITY OF FORT WAYNE, INDIANA TYPICAL CONSTRUCTION GUIDELINES AND DETAILS FOR FURTHER SITE LAYOUT DETAILS AND SPECIFICATIONS.

NOTE: CONSTRUCTION FOR THIS PROJECT IS SUBJECT TO THE CITY OF FORT WAYNE STORMWATER TECHNICAL STANDARDS (LATEST EDITION) AND THE CITY OF FORT WAYNE AND ALLEN COUNTY DESIGN AND CONSTRUCTION STANDARDS. MISSING INFORMATION ON THE PLANS DOES NOT ALLOW THE CONTRACTOR FROM ADHERING TO THE AFFORDABLE STANDARDS OF MATERIALS OR INSTALLATION REQUIREMENTS.

FLOOD NOTE:

THE PARCEL DESCRIBED AND SHOWN HEREIN LIES WITHIN ZONE "AC" AND ZONE "V" (SHADED) AS SHOWN ON MAP NUMBER UNDEVELOPING (DATED AUGUST 3, 2024) OF THE FLOOD INSURANCE RATE MAPS FOR THE CITY OF FORT WAYNE, ALLEN COUNTY, INDIANA. ACCORDING TO THE FLOOD INSURANCE RATE MAPS, THE PROJECT IS SUBJECT TO HIGH SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION OR THE REFERENCED FLOOD INSURANCE RATE MAP.

CONSULTANT TEAM:

OWNER

CITY OF FORT WAYNE
DEPARTMENT OF REDEVELOPMENT
200 EAST BERRY STREET
SUITE 320
FORT WAYNE, IN 46802
PH: (260) 427-2184
FX: (260) 427-1375
CONTACT: HAYLEY BONDI

SURVEYOR

CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
433 NORTH CAPITOL AVENUE
SUITE 200
INDIANAPOLIS, IN 46204
PH: (317) 655-7777
FX: (317) 655-7778
CONTACT: TODD WALLACE

CIVIL ENGINEER

CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
433 NORTH CAPITOL AVENUE
SUITE 200
INDIANAPOLIS, IN 46204
PH: (317) 655-7777
FX: (317) 655-7778
CONTACT: TODD WALLACE

UTILITIES:

ELECTRIC
EDWARDS WISGARD POWER
3014 LAMAR RD
NOR WALK, IN 46774
ATN: SHANNON SMILEY
(260) 748-3067

STORM SEWER
CITY OF FORT WAYNE
200 E BERRY STREET, ROOM 130
FORT WAYNE, IN 46802
(260) 427-3900
ATN: CRAIG BERNETT

FIRE DEPARTMENT
FORT WAYNE FIRE DEPT
1 BANK STREET, SUITE 801
FORT WAYNE, IN 46802
(260) 427-1478
ATN: JAMES MURLA

TELEPHONE/CABLE
ZIM
208 E. MAIN STREET
FORT WAYNE, IN 46802
ATN: BRITT JUNGCLAIR
(260) 388-8987
6621786.com

STREET DEPT.
CITY OF FORT WAYNE
208 E. MAIN STREET
FORT WAYNE, IN 46802
ATN: BRAD BAUMGARTNER
(260) 427-8511
fire.civildesign@cityoffortwayne.gov

WATER
CITY UTILITIES
200 EAST BERRY STREET
SUITE 140
FORT WAYNE, IN 46802
(260) 427-3999
ATN: ROCK SEALS

CITY UTILITIES
200 EAST BERRY STREET
SUITE 140
FORT WAYNE, IN 46802
(260) 427-3999
ATN: CRAIG BERNETT

GAS
NORTHERN INDIANA PUBLIC SERVICE CO.
1501 HALE AVE.
FORT WAYNE, IN 46802
ATN: DENNY BLANKENHORN
636.WAYNE@INDIANAPUBLICSERVICE.COM

METRONET, INC.
7571 MARWOOD DRIVE
NEWBURGH, IN 47830
ATN: JAMES LONE
(813) 252-8839
www.metronetinc.com



NO.	DATE	REVISION RECORD	DESCRIPTION

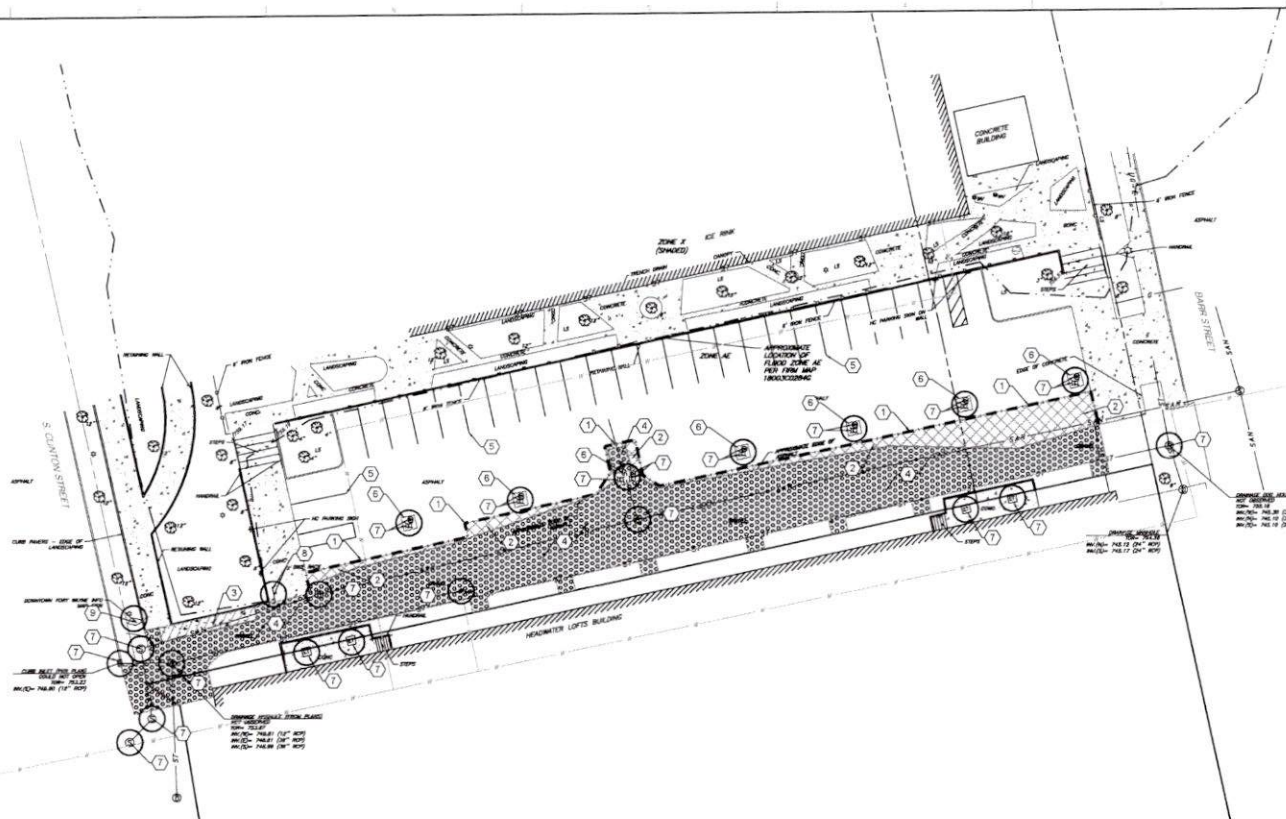
433 N. Capitol Avenue
Suite 200
Indianapolis, IN 46204
Ph: 317.655.7777
www.cectinc.com



CITY OF FORT WAYNE
333 S. CLINTON STREET
FORT WAYNE, INDIANA 46802

TITLE SHEET	
DATE	JAN, 2026
DESIGNED BY	TODD WALLACE
DRAWN BY	TODD WALLACE
CHECKED BY	TODD WALLACE
PROJECT NO.	357-200
SCALE	AS SHOWN
DATE	1/30/26

C000



GENERAL DEMOLITION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL, OFF-SITE OF ALL ITEMS SHOWN ON THE DEMOLITION PLAN INCLUDING ITEMS DISCOVERED DURING EXCAVATION OF BUILDING FOUNDATIONS AND UTILITY PLACEMENT.
2. PRIOR TO STARTING DEMOLITION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY LOCAL GOVERNMENT AGENCIES.
3. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANIES FOR THE DISCONNECTION AND REMOVAL OF SERVICES TO EXISTING STRUCTURES.
4. ITEMS SHOWN ON THE DEMOLITION PLAN TO BE SALVAGED SHALL BE TRANSPORTED TO LOCATION SPECIFIED BY THE OWNER OR REPRESENTATIVE.
5. ITEMS OF SALVAGEABLE VALUE TO THE CONTRACTOR MAY BE REMOVED WITH THE OWNER OR OWNER REPRESENTATIVE'S PERMISSION. THE CONTRACTOR SHALL NOT STORE THESE ITEMS ON SITE.
6. THE CONTRACTOR MAY NOT USE EXPOSURES OR BURN SCUMS.
7. CONDUCT DEMOLITION OPERATIONS TO ENSURE MINIMAL INTERFERENCE WITH ROAD, SIDEWALKS AND ANY OTHER ADJACENT OCCUPIED FACILITIES.
8. DO NOT CLOSE OR OBSTRUCT ROADS, SIDEWALKS OR ANY OTHER OCCUPIED FACILITIES WITHOUT PERMISSION FROM THE LOCAL AUTHORITY HAVING JURISDICTION AND/OR PROPERTY OWNERS.
9. THE CONTRACTOR SHALL ENSURE SAFE PASSAGE OF PERSON TRAVELING THROUGH OR AROUND THE CONSTRUCTION SITE.
10. THE CONTRACTOR SHALL PROTECT FROM DAMAGE, SURROUNDING STRUCTURES, UTILITIES AND OTHER FACILITIES DURING DEMOLITION AND REMAINING OPERATIONS.
11. BUILDING STRUCTURES INCLUDING FOUNDATIONS OR BASEMENTS SHALL BE SHIPPED AND BACKFILLED WITH APPROVED BACKFILL MATERIAL. BACKFILL MATERIAL SHALL BE PLACED IN MAXIMUM 200T BUSH LIFTS AND COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT OR A MINIMUM OF 90% OF A STANDARD PROCTOR.
12. UTILITIES SHALL BE REMOVED AND BACKFILLED WITH APPROVED BACKFILL MATERIAL. BACKFILL MATERIAL SHALL BE PLACED IN MAXIMUM 200T BUSH LIFTS AND COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT OR A STANDARD PROCTOR.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE CONSTRUCTION SITE AND SURROUNDING AREAS ARE FREE OF ACCUMULATED DEBRIS.

DEMOLITION LEGEND:

- ASPHALT TO BE REMOVED
- CONCRETE TO BE REMOVED
- GRAVEL TO BE REMOVED
- SIDEWALK EXISTING PAVEMENT
- MISC. ITEM TO BE REMOVED
- MISC. ITEM TO BE PROTECTED

DEMOLITION ITEMS:

1. SIDEWALK EXISTING PAVEMENT FOR CLEAN FINISH AND REMOVAL OF PAVEMENT.
2. EXISTING ASPHALT & BASE TO BE REMOVED COMPLETE, DISPOSE OF OFF SITE.
3. EXISTING CONCRETE TO BE REMOVED COMPLETE, DISPOSE OF OFF SITE.
4. EXISTING GRAVEL AND DEBRIS TO BE REMOVED, DISPOSE OF OFF SITE.
5. EXISTING PAVEMENT MARKINGS TO BE REMOVED, COORDINATE WITH SITE PLAN.
6. EXISTING CONCRETE TO BE PROTECTED DURING CONSTRUCTION; REPAIR AS NEEDED.
7. EXISTING UTILITIES TO BE PROTECTED DURING CONSTRUCTION.
8. EXISTING SIGN TO BE PROTECTED DURING CONSTRUCTION.
9. EXISTING BIKE RACK TO BE PROTECTED DURING CONSTRUCTION.

BENCHMARKS:

UNLESS OTHERWISE NOTED, ELEVATIONS SHOWN HEREON ARE BASED UPON AN ODUS SOLUTION AND ARE ON THE 1988 NORTH AMERICAN VERTICAL DATUM (NAD83) (SECOND EDITION). IT IS MY OPINION THAT THE UNCERTAINTY IN THE ELEVATION OF THE PROJECT BENCHMARK DOES NOT EXCEED 0.10 FOOT.

TRAMP, CUT SQUARE ON NORTHEAST CORNER OF CONCRETE TRANSFORMER PAD LOCATED APPROXIMATELY 80 FEET NORTHWEST CORNER OF THE HEADWATER LOFTS BUILDING. ELEV = 758.88

TRAMP, WAS NAIL LOCATED ON TOP OF THE SOUTH END OF A WALL ON THE NORTHEAST CORNER OF THE HEADWATER LOFTS BUILDING. ELEV = 759.11

TRAMP, WAS NAIL ON TOP OF THE SOUTHWEST CORNER OF A READING WALL LOCATED 35 FEET NORTHEAST OF THE NORTHEAST CORNER OF THE HEADWATER LOFTS BUILDING. ELEV = 759.08

FLOOD NOTE:

THE PARCEL DESCRIBED AND SHOWN HEREIN LIES WITHIN ZONE "AE" AND ZONE "X" DESIGNATED AS SHAD PARCELS PLATS ON MAP NUMBER 1800300940 (DATED AUGUST 3, 2006) OF THE FLOOD INSURANCE RATE MAPS FOR THE CITY OF FORT WAYNE, ALLEN COUNTY, INDIANA. THE ACCURACY OF THIS FLOOD HAZARD STATEMENT IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP.

UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE LOCATION INDICATED ALTHOUGH THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES NOT WARRANT THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. INDIANA 811 ONE-CALL PUBLIC UTILITY LOCATE SERVICE TICKET NUMBER 2012500000 WAS ISSUED FOR THIS SITE.

PRIOR TO ANY EXCAVATION FOR UNDERGROUND UTILITIES, THE CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, AND SANITARY SERVICES. ANY CONFLICTS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER AND THE APPROPRIATE AUTHORITIES.

EXISTING LEGEND:

- BOUNDARY LINE
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING ROW FENCE LINE
- EXISTING WOOD FENCE LINE
- FEMA FLOOD LINE
- EXISTING GAS LINE
- S.W. EXISTING SANITARY SEWER LINE
- EXISTING STORM SEWER LINE
- TIN
- ELEC. WARE HOLES, ELEC. LIGHT POLE, PULL BOX, POWER POLE, UTILITY POLE, CUT WIRE, ELEC. TRANSFORMER
- GAS VALVE, GAS METER, GAS LINE MARKER
- WATER MANHOLE, IRRIGATION CONTROL BOX, WATER STOP, SEWER INTAKE AND DISCHARGE, FRY WALK, FRY SHIRT, CONNECTION WATER VALVE
- SANITARY MANHOLE, SEWER PUMP, PUMP BOX
- SANITARY MANHOLE, CLEANOUT, SANITARY MANHOLE, CLEANOUT MANHOLE, DRAINAGE MANHOLE
- MAIL BOX, SIGN, AIR COOLER, ADA SYMBOL, BOLLARD, PARKING METER, TRAFFIC POLE, TRAFFIC MANHOLE
- DECIDUOUS TREE, CONIFEROUS TREE, BUSH
- EXISTING SPOT ELEVATION
- UNDERGROUND

REFERENCE

1. TOPOGRAPHIC SURVEY PROVIDED BY C.M. & ENVIRONMENTAL CONSULTANTS, INC. SURVEY DATED 01/23/2024, PROJECT 387-300
2. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THE SET OF DOCUMENTS FULLY EXPLICIT ALL WORK ASSOCIATED WITH THE PROJECT.

NO.	DATE	DESCRIPTION

433 N. Capitol Avenue
Suite 200
Indianapolis, IN 46204
Ph: 317.655.7777
www.cccrinc.com



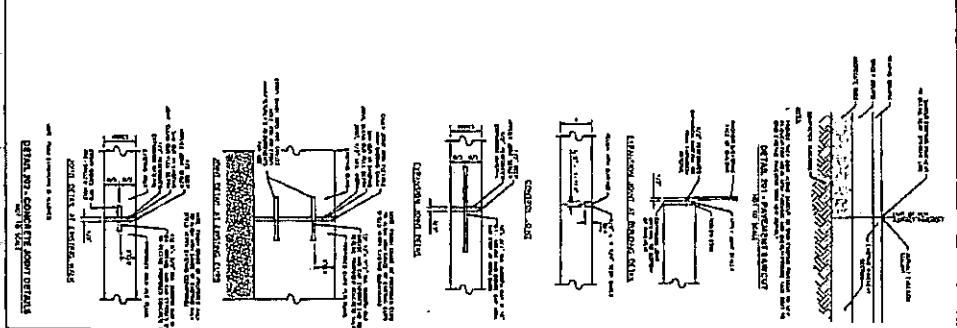
CITY OF FORT WAYNE
335 S. CLINTON STREET
FORT WAYNE, INDIANA 46802

DEMOLITION PLAN
DATE: JAN. 2024 DRAWN BY: MCL/TCV
CHECKED BY: MCL/TCV
PROJECT NO: 387-300
APPROVED BY: MCL/TCV

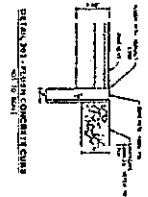
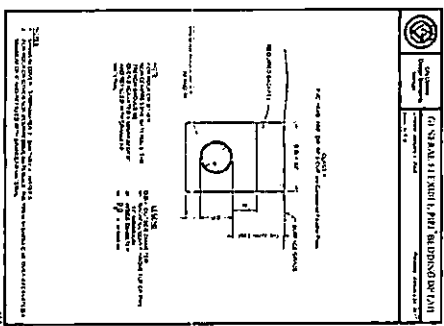
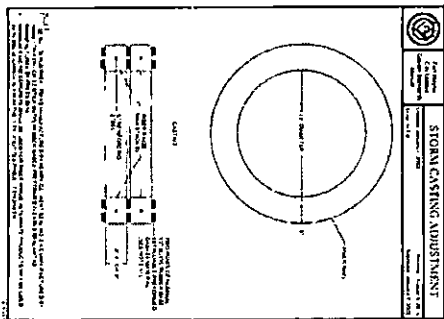
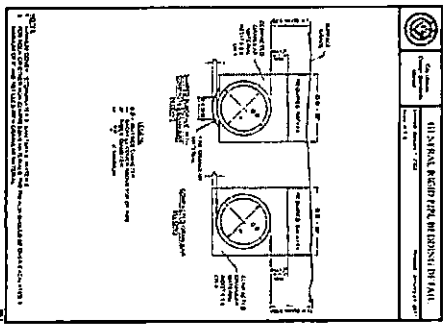
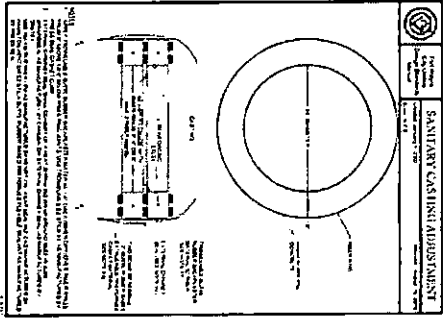
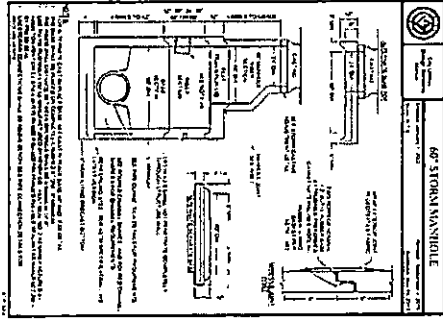



C100
SHEET OF

<p>Typical Concrete Sidewalk PLAN VIEW SECTION AA SECTION BB</p>	<p>Concrete Curb Type II PLAN VIEW SECTION AA SECTION BB</p>	<p>Concrete Curb Type III PLAN VIEW SECTION AA SECTION BB</p>
<p>Curb Ramp Type E PLAN VIEW SECTION AA SECTION BB</p>	<p>Concrete Curb Type II PLAN VIEW SECTION AA SECTION BB</p>	<p>Concrete Curb Type III PLAN VIEW SECTION AA SECTION BB</p>



<p>REVISION RECORD</p> <table border="1"> <tr><th>NO.</th><th>DATE</th><th>DESCRIPTION</th></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>	NO.	DATE	DESCRIPTION										<p>CEC Civil & Environmental Consultants, Inc. 411 N. Capitol Avenue Suite 200 Indianapolis, IN 46204 Ph. 317.633.7777 www.cecinc.com</p>	<p>CITY OF FORT WAYNE 333 S. CLINTON STREET FORT WAYNE, INDIANA 46802</p>	<p>DRAFT</p> <p>C800</p> <p>SITE DETAILS</p> <p>JULY 2009</p>
NO.	DATE	DESCRIPTION													



DRAFT	C801	SITE DETAILS	CITY OF FORT WAYNE 333 S. CLINTON STREET FORT WAYNE, INDIANA 46802	 CEC Civil & Environmental Consultants, Inc. 433 N. Capitol Avenue Suite 300 Indianapolis, IN 46204 Ph 317.455.7777 www.cecinc.com	REVISION RECORD <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION									
		NO.	DATE	DESCRIPTION													

- GENERAL NOTES:**
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARD DRAWINGS FOR CONSTRUCTION OF STORMWATER POLLUTION CONTROL STRUCTURES.
 2. ALL STRUCTURES SHALL BE CONSTRUCTED OF CONCRETE UNLESS OTHERWISE SPECIFIED.
 3. ALL STRUCTURES SHALL BE FINISHED WITH A 1" THICK CURB AND GUTTER.
 4. ALL STRUCTURES SHALL BE FINISHED WITH A 1" THICK CURB AND GUTTER.

TABLE 1: SUMMARY OF VOLUMES AND AREAS

NO.	DESCRIPTION	AREA (SQ. FT.)	VOLUME (CU. YD.)
1	CONCRETE	1000	1000
2	GRAVEL	2000	2000
3	STRAW BALE	3000	3000
4	WOOD	4000	4000
5	STEEL	5000	5000

TABLE 2: TEMPORARY SEEDING

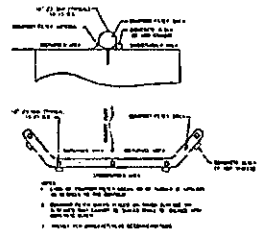
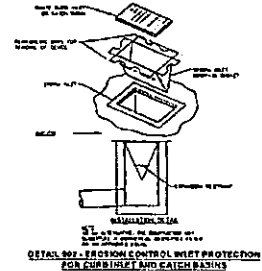
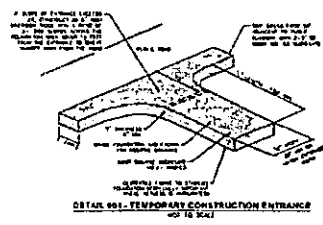
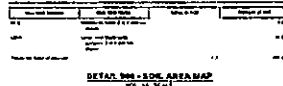
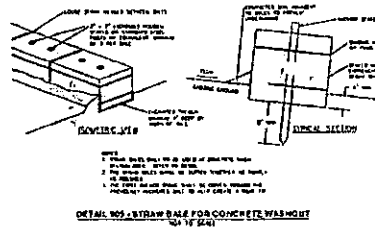
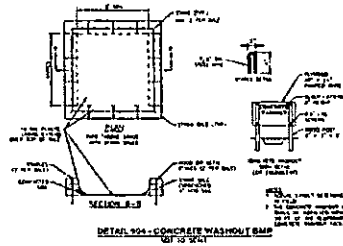
NO.	DESCRIPTION	AREA (SQ. FT.)	VOLUME (CU. YD.)
1	SEEDING	1000	1000
2	EROSION CONTROL	2000	2000

TABLE 3: PERMANENT SEEDING

NO.	DESCRIPTION	AREA (SQ. FT.)	VOLUME (CU. YD.)
1	SEEDING	1000	1000
2	EROSION CONTROL	2000	2000

TABLE 4: TEMPORARY SEEDING

NO.	DESCRIPTION	AREA (SQ. FT.)	VOLUME (CU. YD.)
1	SEEDING	1000	1000
2	EROSION CONTROL	2000	2000



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STORMWATER POLLUTION
 PREVENTION DETAILS